



City of Riverbank
Planning Commission Meeting
City Hall North • Council Chambers
6707 Third Street • Suite B • Riverbank • CA 95367

Agenda
Tuesday, September 18, 2018 – 6:00 P.M.

CALL TO ORDER: Chair: John Dinan

ROLL CALL: Chair: John Dinan
Vice Chair: Robert Ball
Commissioner: Joan Stewart
Commissioner: Melissa Hughes
Commissioner: Mallorie Fenrich

Alternate Member: Commissioner: Steve Link (serves in the absence of a primary commissioner).

CONFLICT OF INTEREST

Any Planning Commission Member or Staff who has a direct Conflict of Interest on any scheduled agenda item to be considered is to declare their conflict at this time.

1. PUBLIC COMMENTS (No action to be taken)

At this time, members of the public may comment on any item not appearing on the agenda, and within the subject matter jurisdiction of the Planning Commission Board. Individual comments will be limited to a **maximum of 5 minutes** per person and each person may speak once during this time; time cannot be yielded to another person. Under State Law, matters presented during the public comment period cannot be discussed or acted upon. For record purposes, state your name and City of residence. Please make your comments directly to the Planning Commission Board.

2. CONSENT CALENDAR

All items listed on the Consent Calendar are to be acted upon by a single action of the Planning Commission Board unless otherwise requested by an individual Planning Commissioner Member for special consideration. Otherwise, the recommendation of staff will be accepted and acted upon by roll call vote.

Item 2.1: Posting of the Agenda. The Agenda for the September 18, 2018 Planning Commission Meeting was posted on the City Community Center bulletin board, City Hall North & South bulletin boards, Post Office, city website and emailed to the Library on September 6, 2018.

Item 2.2: Approval of the Agenda. This provides an opportunity for the Planning Commission or Staff to recommend that an item be placed on the agenda for discussion or to adjust the proposed agenda to allow an item to be taken out of order.

Item 2.3: Approval of the Minutes of the June 19, 2018 and July 17, 2018 Planning Commission Meeting, having been read by the individual Commissioners and stands approved as submitted. *Commissioners to abstain:*

1ST _____ 2ND _____

Item 2.4: Tentative Subdivision Map Extension 01-2018 – Ward Villas – Ward Avenue and Palmer Avenue, APN: 132-036-003. Request for a one (1) year extension on approved Tentative Subdivision Map 01-2015 to subdivide 2.42 acres into 28 Planned Development single family medium density residential lots.

1st _____ 2nd _____

Recommendation: It is recommended that Planning Commission approve the Consent Calendar by roll call vote.

3. PUBLIC HEARING PRESENTATIONS

Item 3.1: **Architecture & Site Plan Review 2018-001 (18-0005) – Mark Hart, applicant; St. Francis of Rome, owner – 2818 Topeka Street, APN: 132-024-005.** Request for an Architectural and Site Plan Review of a single story office building with setback exception. Property is currently a paved parking lot across Topeka Street from the existing St. Francis of Rome church. Architectural and Site Plan Review is required for properties redeveloping for a new use in the Downtown Specific Plan. The proposed Architecture and Site Plan review is subject to approval by the Planning Commission pursuant to Section 153.095(G) of the City of Riverbank Code of Ordinances.

Recommendation: It is recommended that Planning Commission approve the item by roll call vote.

4. PLANNING COMMISSION COMMENTS (Information Only – No Action)

None.

5. COUNTY REFERRAL/CORRESPONDENCE/INFORMATION (Information Only – No Action)

None.

6. STAFF COMMENTS (Information Only – No Action)

Item 6.1: August 28th and September 11th City Council Meetings Update.

Item 6.2: Stanislaus County Planning Commission Workshop Update.

7. ADJOURNMENT - Regular Planning Commission meeting – October 16, 2018 @ 6:00 p.m.

All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the Planning Commission Board will be available for public inspection at the address where the meeting is taking place as indicated on the agenda, at the same time that the public records are distributed or made available to the Planning Commission Board.

AFFIDAVIT OF POSTING

I, Janet Smallen, do hereby certify under penalty of perjury, under the laws of the State of California that the foregoing agenda was posted 72 hours to the meeting in accordance to the Brown Act.

*Posted this 14th day of September, 2018
Janet Smallen, Sr. CDS*

NOTICE REGARDING AMERICANS WITH DISABILITIES ACT: In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Development Services Department at (209) 863-7128 or jsmallen@riverbank.org. Notification 72-hours before the meeting will enable the City to make reasonable arrangements to ensure any special needs are met. [28 CFR 35.102-35.104 ADA Title II].

NOTICE REGARDING NON-ENGLISH SPEAKERS: Pursuant to California Constitution Article III, Section IV, establishing English as the official language for the State of California, and in accordance with California Code of Civil Procedures Section 185, which requires proceedings before any State Court to be in English, notice is hereby given that all proceedings before the City of Riverbank City Planning Commission shall be in English and anyone wishing to address the Planning Commission is required to have a translator present who will take an oath to make an accurate translation from any language not English into the English language.

GENERAL INFORMATION: The Riverbank Planning Commission meets on the third Tuesday of each month at 6:00 p.m.

COMMISSION AGENDAS: The Planning Commission agenda is posted pursuant to the California Brown Act, which only requires these agenda title pages to be posted near the entrance of the location where the meeting is to be held and, when technologically able, on the City's website. Additional documents may be provided by the City in its efforts of transparency to keep the public well informed. The agenda packet (agenda plus supporting documents) are posted for public review at the Development Services Department, 6617 Third Street, Riverbank, CA and at www.riverbank.org upon distribution to a majority of the Planning Commission. A subscription to receive the agenda can be purchased for a nominal fee through the City Clerk's Office.

PUBLIC HEARINGS: In general, a public hearing is an open consideration within a meeting of the Planning Commission Board, for which special notice has been given and may be required. During a specified portion of the hearing, any resident or concerned individual is invited to present protests or offer support for the subject under consideration.

Televised/Video of Meetings: Charter – Channel 2; AT&T Uverse – Channel 99
Visit www.riverbank.org to connect to meeting videos. (Note: Technical difficulty occurs on occasion preventing the televising or recording of the meeting.)

City Hall Hours: City Hall is open Monday – Thursday: 7:30 am – 5:30 pm and Fridays: 8:00 am – 5:00 pm; CLOSED alternating Fridays. **QUESTIONS:** Contact the Developmental Services Department at (209) 863-7128.

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City of Riverbank Development Services Department

Planning Division ≈ Building Division ≈ Neighborhood Improvement Division

6707 Third Street, Riverbank, CA 95367 Office (209) 863-7128 FAX (209) 869-7126

PUBLISH DATE: September 5, 2018

LEGAL DEPT: PLANNING

CITY OF RIVERBANK **NOTICE OF PUBLIC HEARING**

Notice is hereby given that the City of Riverbank Planning Commission will conduct a public hearing to consider the project described below at 6:00 p.m. on Tuesday, September 18, 2018 in Council Chambers, 6707 Third Street, Riverbank, California.

Project Descriptions: Architectural & Site Plan Review 2018-001 (18-0005) – Mark Hart, applicant; St. Francis of Rome, owner – 2818 Topeka Street, APN: 132-024-005. Request for an Architectural and Site Plan Review of a single story office building of approximately 2,000 square feet. Property is currently a paved parking lot across Topeka Street from the existing St. Francis of Rome church. Architectural and Site Plan Review is required for properties redeveloping for a new use in the Downtown Specific Plan. The proposed Architectural and Site Plan review is subject to approval by the Planning Commission pursuant to Section 153.095(G) of the City of Riverbank Code of Ordinances.

The City of Riverbank will hold a Public Hearing as follows:

Planning Commission Meeting
September 18, 2018 at 6:00 pm
City Hall Council Chambers - 6707 Third Street - Riverbank, California

ALL INTERESTED PARTIES are invited to attend the public hearing on **September 18, 2018** at the time and place specified above to express opinions or submit evidence for or against the subject matter being considered. Written comments via e-mail to dkenney@riverbank.org by postal service, or hand delivered to **6707 Third Street, Suite A, Riverbank, California, 95367**, will be accepted by the Development Services Department up to 5:00 p.m. on said date. All written comments received by said time will be distributed to the Planning Commission for consideration. Oral comments will be received by the Planning Commission prior to the close of the Public Hearing on the subject matter being considered. The Planning Commission will receive all testimony prior to taking action. Testimony cannot be given over the telephone. If you challenge the City's action on these matters in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the City at, or prior to, the public hearing.

Meeting facilities are accessible to persons with disabilities. Any person requiring special assistance to participate in the meeting should notify the Administration Dept. at (209) 863-7122 or cityclerk@riverbank.org at least seventy-two (72) hours prior to the meeting. For questions regarding the public hearing matter contact Donna M. Kenney, Planning & Building Manager, at (209) 863-7124; dkenney@riverbank.org.

Any public record materials pertaining to the presentation of the subject matter being considered will be made available for review at the Development Services Counter at 6717 Third Street, Riverbank, and (if technologically possible) at <http://www.riverbank.org/Depts/planning/default.aspx> upon distribution to a majority of the Planning Commission (typically 72 hours prior to the meeting).

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g/default.aspx upon distribution to a majority of the Planning Commission (typically 72 hours prior to the meeting).
Sept. 5, 2018
RN #18-092

**CITY OF RIVERBANK
PLANNING COMMISSION**

STAFF REPORT

ITEM NO: 2.4 **September 18, 2018**

APPLICATION: **Tentative Subdivision Map Extension 18-001 – Ward Villas – Ward Avenue and Palmer Avenue, APN: 132-036-003.** Request for a one (1) year extension on approved Tentative Subdivision Map 01-2015 to subdivide 2.42 acres into 28 Planned Development single family medium density residential lots.

OWNER: Westwood Country Venture, LLC

**APPLICANT
REPRESENTATIVE:** William Spivock

GENERAL PLAN: Medium Residential (MDR)

ZONING: Planned Development (PD)

**ENVIRONMENTAL
DETERMINATION:** The extension of a currently approved tentative subdivision map is not a Project pursuant to CEQA Guidelines.

PROJECT PLANNER: Donna M. Kenney, Planning and Building Manager

RECOMMENDATION: Approve the 1 year Map Extension request for Tentative Subdivision Map 01-2015 (Exhibit A).

ACROMYMS: CEQA – California Environmental Quality Act
FT – Feet or foot
MDR – Medium Density Residential

I. BACKGROUND:

The applicant proposes the extension of Tentative Subdivision Map 01-2015 for twenty-eight (28) single family residences within a 2.42 acre subdivision. The request (Attachment 2) is for a 1 year extension of the map to complete the process towards the approval of the Final Map.

A General Plan Amendment, Rezone, and Tentative Map 01-2015 to subdivide the site were recommended for approval by the Planning Commission on January 19, 2016 and the General Plan Amendment and Rezone were approved by the City Council on February 9, 2016. According to State Subdivision law, an approved tentative map has a life of twenty-four (24) months, so this

Riverbank Planning Commission

Staff Report 2.4

Meeting of September 18, 2018

Page 1 of 2

particular map was to expire January 19, 2017. Pursuant to the City's Subdivision Ordinance, the Planning Commission may approve a requested extension of an additional three (3) years. The applicant requested an extension of 1 year which was approved by the Planning Commission on October 17, 2017, extending the expiration date to January 19, 2018. The current request is for a 1 year extension as well and would extend the map to January 18, 2019. There has been no Architecture and Site Plan review of housing yet.

II. ENVIRONMENTAL REVIEW:

A map extension for an approved subdivision is not a Project pursuant to CEQA Guidelines.

III. PUBLIC NOTICE:

This item did not require public noticing.

IV. RECOMMENDATION:

Approve the second 1 year Map Extension request for Tentative Subdivision Map 01-2015.

V. ATTACHMENTS:

1. Resolution 2018-003
Exhibit A - Tentative Subdivision Map 01-2015
2. Applicant letter of dated September 12, 2018.

Respectfully Submitted By:

Donna M. Kenney
Donna M. Kenney
Planning and Building Manager

**Planning Commission
Resolution No. 2018-003**

A Resolution of the City of Riverbank Planning Commission
Approving the Request of Westwood Country Venture, LLC for a 1 Year Extension of
Tentative Subdivision Map 01-2015 to Develop 2.42 Acres into 28 Planned
Development Single Family Medium Density Residential Lots,
Located on Ward Avenue at Palmer Avenue.
APN: 132-036-003

Whereas, an application has been received from William Spivock of Westwood Country Venture, LLC for a one (1) year extension of Tentative Subdivision Map 01-2015 ("Ward Villas") to subdivide 2.42 acres into 28 medium density single family residential lots, APN: 132-036-003; and

Whereas, Tentative Subdivision Map 01-2015 was approved by the Riverbank Planning Commission at a regular meeting held on January 19, 2016 in the manner prescribed by law and the requested one (1) year extension is required to complete the Final Map process; and

Whereas, a similar request for a one (1) year extension of Tentative Subdivision Map 01-2015 was approved by the Planning Commission in October 2017 because economic conditions such as increases in the cost of materials, the lack of a trained labor pool, and a greater difficulty in acquiring bank loans and bonds kept the project from moving forward; and

Whereas, Riverbank Municipal Code Section §152.070 (A)(2) FINAL MAPS, FILING; TIME LIMIT authorizes the Planning Commission to extend the time for filing a final map for a period or periods not exceeding an additional three years if it determines that conditions affecting the subdivision have not substantially changed. Since the map already has a one (1) year extension, it can have an additional two (2) years of extensions if the Planning Commission so determines; and

Whereas, the Planning Commission reviewed a Negative Declaration with mitigation measures pursuant to the California Environmental Quality Act and considered that to be the appropriate level of environmental review at the time of map approval; and

Whereas, all conditions of approval required of Tentative Subdivision Map 01-2015 continue to apply during the proposed extension periods; and

Whereas, Tentative Subdivision Map 01-2015, as conditioned, is consistent with the adopted policies of the General Plan Land Use and Housing Elements; and

NOW THEREFORE, BE IT RESOLVED that the City of Riverbank Planning Commission approves the requested one (1) year extension for Tentative Subdivision Map No. 01-2015 as shown in Exhibit "A" and subject to its Conditions of Approval and by this reference incorporated herein.

PASSED AND ADOPTED by the Planning Commission of the City of Riverbank at a regular meeting held on the 18th day of September 2018, by the following vote____:

AYES:

NOES:

ABSENT

ABSTAIN:

Approved:

John Dinan,
Chairperson

Attest:

Donna M. Kenney,
Secretary to the Planning Commission

GENERAL NOTES:

1. ASSESSOR'S PARCEL NUMBER 132-036-003
2. TOTAL AREA: 2.42 ACRES
3. TOTAL NUMBER OF RESIDENTIAL LOTS: 28, BASIN LOT: 1
4. CURRENT ZONING: R-1 (SINGLE FAMILY RESIDENTIAL)
5. SEWER SERVICE: CITY OF RIVERBANK
6. WATER SERVICE: CITY OF RIVERBANK
7. STORM DRAINAGE: POSITIVE DRAINAGE SYSTEM TO DRAINAGE BASIN
8. ALL NEW PUBLIC UTILITIES ARE TO BE INSTALLED UNDERGROUND IN EASEMENTS. 10 FOOT WIDE PUBLIC UTILITY EASEMENTS SHALL BE DEDICATED ALONG ALL ROAD FRONTAGES.
9. THE PROJECT SITE SLOPES FROM NORTH TO SOUTH WITH ELEVATIONS FROM 137.5 TO 137.0.
10. ALL DIMENSIONS, DISTANCES, AREAS, ETC. ARE TAKEN FROM ASSESSOR'S DATA, RECORD INFORMATION, AND FIELD OBSERVATIONS BY OFFICE PERSONNEL AND DO NOT REFLECT AN ACTUAL SURVEY.
11. ALL EXISTING STRUCTURES AND TREES ARE TO BE REMOVED.

FLOOD ZONE CLASSIFICATION

THE SUBJECT PROPERTY FOR THE VESTING TENTATIVE SUBDIVISION MAP, SHOWN HEREON, LIES WHOLLY WITHIN FLOOD ZONE X - AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP OF STANISLAUS COUNTY, CALIFORNIA AND INCORPORATED AREAS, COMMUNITY #060391, PANEL 0030 E, EFFECTIVE SEPTEMBER 26, 2009 (MAP #060900300E).

OWNER

WINDWARD PACIFIC BUILDERS
CONTACT: TROY WRIGHT
139 S. 5TH AVENUE, OAKDALE, CA 95361
(209) 521-0803

SUBDIVIDER

WINDWARD PACIFIC BUILDERS
CONTACT: TROY WRIGHT
139 S. 5TH AVENUE, OAKDALE, CA 95361
(209) 521-0803

ENGINEER

HAWKINS & ASSOCIATES ENGINEERING INC.
436 MITCHELL ROAD, MODESTO, CA 95354
(209) 575-4295

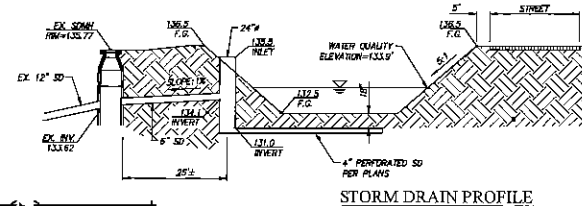
STATEMENT OF SUBDIVIDER:

- A. ALL IMPROVEMENTS SHALL BE CONSTRUCTED PER CITY OF RIVERBANK'S STANDARD SPECIFICATIONS.
- B. STORM DRAINAGE: BY POSITIVE SYSTEM TO A STORM DRAINAGE BASIN.
- C. SEWAGE DISPOSAL: CITY OF RIVERBANK SYSTEM.
- D. WATER SUPPLY: CITY OF RIVERBANK SYSTEM.
- E. STREET LIGHTING: LIGHTING SHALL BE INSTALLED AS PER THE CITY OF RIVERBANK'S STANDARD SPECIFICATION.

- F. WARD AVENUE VILLAS HOME OWNERS ASSOCIATION RESPONSIBILITIES:

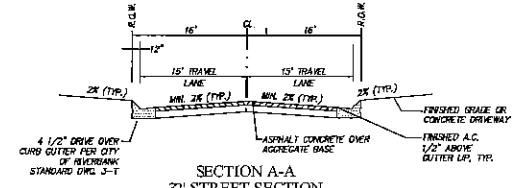
A HOME OWNERS ASSOCIATION AND CC&RS WILL BE ESTABLISHED FOR THIS PROJECT. THE HOA WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL THE COMMON AREAS. THIS WOULD INCLUDE THE INTERIOR STREET, THE DUAL USE BASIN, PARK AREA, ON-SITE STREET LIGHTING AND THE CLUSTER MAIL BOX. A BLANKET PUBLIC UTILITY EASEMENT WILL BE CREATED IN THE STREET RIGHT OF WAY FOR PUBLIC UTILITIES SUCH AS SANITARY SEWER AND CITY WATER. THE STORM DRAINAGE LINES AND FACILITIES WILL BE RESPONSIBILITY OF THE HOA.

EACH INDIVIDUAL HOME OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR FRONT YARDS.

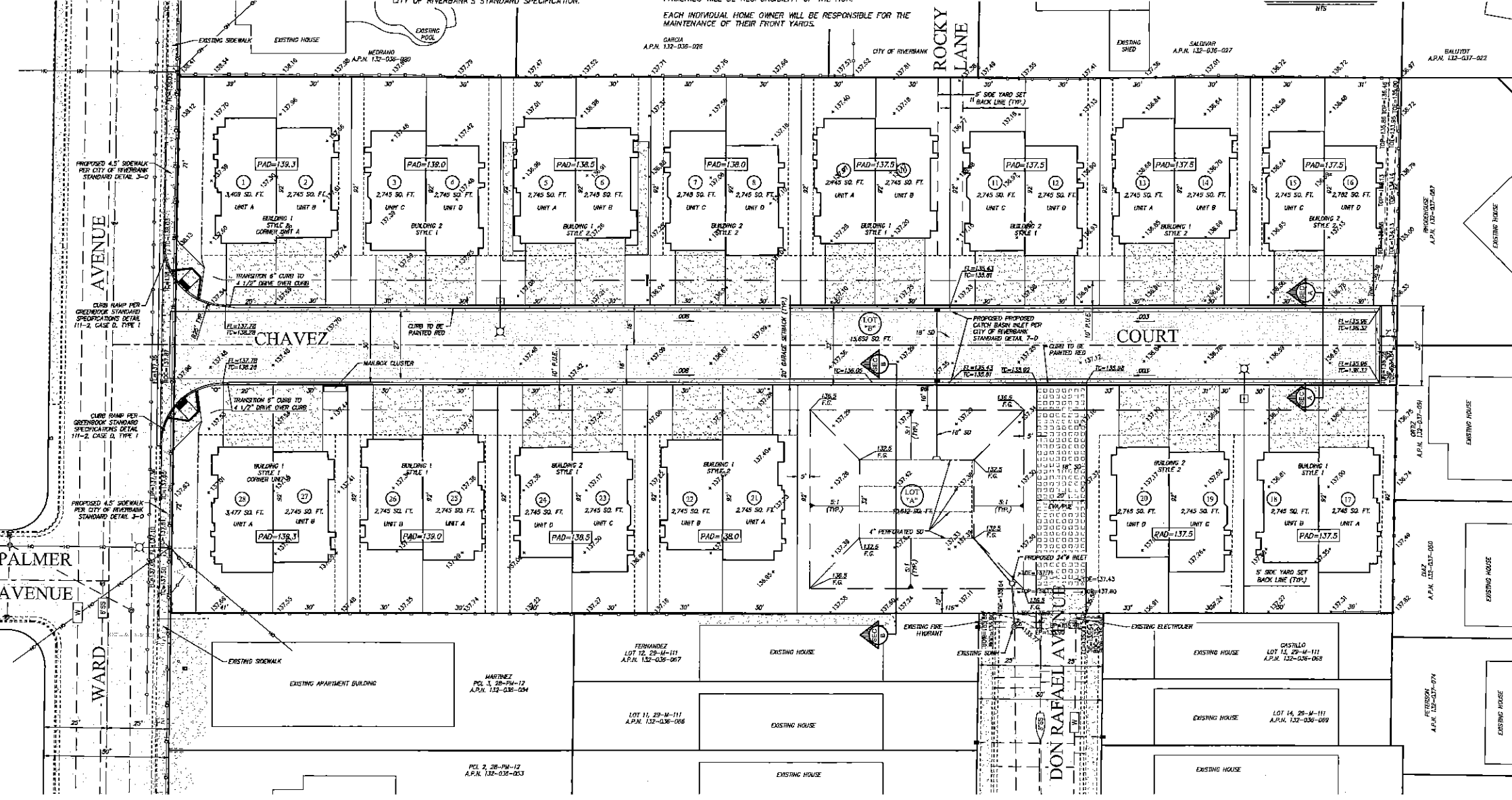
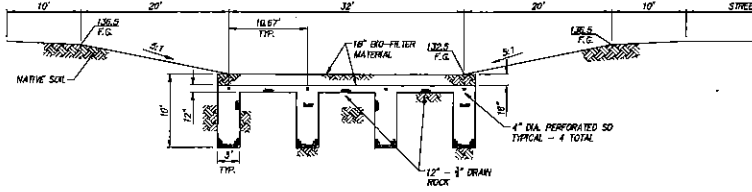


LOT SUMMARY

- LOTS 1-28: RESIDENTIAL
- LOT A: DRAINAGE BASIN/OPEN USE/E.V.A./P.U.E.
- LOT B: PRIVATE STREET/P.U.E.



CROSS SECTION - BB



GRADING & DRAINAGE PLAN

WARD AVENUE VILLAS VESTING TENTATIVE MAP

A.P.N. 132-036-003
2912 WARD AVENUE
RIVERBANK, CALIFORNIA

SHEET
2
OF
3

DATE	DESCRIPTION OF REVISION	APPD
APRIL 2015		

IN: JCS
CHK: HHH
DATE: APRIL 2015

HAWKINS & ASSOCIATES
ENGINEERING, INC.
436 MITCHELL ROAD
MODESTO, CA 95354
PH: (209) 575-4295
FX: (209) 578-4295

WARD AVENUE VILLAS
VESTING TENTATIVE MAP
A.P.N. 132-036-003
2912 WARD AVENUE
RIVERBANK, CALIFORNIA

DATE: SHEET 2 OF 3

WESTWOOD COUNTRY VENTURE, LLC

September 12, 2018

Janet Smallen
Sr. Community Development Specialist
City of Riverbank
6707 Third Street
Riverbank, CA 95367

RE: Tentative Map 01-2015 – Ward Villas

Dear Ms. Smallen,

This letter shall serve as formal request to have our Tentative Map, 01-2015, on our Ward Villas be extended for one-year. We have enclosed a check made out to the City of Riverbank for \$777.25 for the one-year extension.

If you need any further information from us, please contact the undersigned.

Thank you,



William J. Spivock

PAID
9/11/18
SB #4121

**CITY OF RIVERBANK
PLANNING COMMISSION**

STAFF REPORT

ITEM NO:	3.1	September 18, 2018
APPLICATION:	Architecture & Site Plan Review 01-2018 (18-0005) – Mark Hart, applicant; St. Francis of Rome, owner – 2818 Topeka Street, APN: 132-024-005. Request for an Architectural and Site Plan Review of a single story office building. Property is currently a paved parking lot across Topeka Street from the existing St. Francis of Rome church. Architectural and Site Plan Review is required for properties redeveloping for a new use in the Downtown Specific Plan. The proposed Architecture and Site Plan review is subject to approval by the Planning Commission pursuant to Section 153.095(G) of the City of Riverbank Code of Ordinances. An exception is requested for a required maximum front setback.	
OWNER:	St. Francis of Rome 2827 Topeka Street Riverbank, CA 95367	
APPLICANT REPRESTATIVE:	Mark Hart Satori Architecture 428 Peninsula Avenue San Mateo, CA 94401	
GENERAL PLAN:	Mixed Use (MU)	
ZONING:	Mixed-Use Neighborhood (MN) Downtown Specific Plan	
ENVIRONMENTAL DETERMINATION:	The proposed project will not have a significant effect on the environment and is categorically exempt under Article 19 Section 15332 (a-e) Class 32, In-Fill Development Projects. Project pursuant to CEQA Guidelines.	
PROJECT PLANNER:	Donna M. Kenney, Planning and Building Manager	
RECOMMENDATION:	Approve the Architectural and Site Plan Review subject to the conditions in attached Resolution 2018-005.	

I. EXECUTIVE SUMMARY:

The applicant proposes to add an approximately 2,000 square foot (“sf”) single-story office building to the existing St. Francis of Rome church site. In addition, the proposal contains the addition of landscaping and parking lot improvements. The project site is currently a paved parking lot on a separate parcel across Topeka Street from the existing St. Francis of Rome Church. Recommendation is approval of the proposal, setback exception, and conditions of approval.

II. BACKGROUND & PROJECT INFORMATION:

The subject property – 2818 Topeka Street – is located southeast of the intersection of Callander Avenue and Topeka Street. The parcel is 11,250 sf in size and measures approximately one hundred fifty (150) feet by seventy-five (75) feet. The site is currently a paved parking lot and is surrounded by Topeka Street and St. Francis of Rome Church to the north, a house to the east, multifamily housing units to the south, and a parking lot and Callander Avenue to the west.

III. ANALYSIS:**A. Site Design**

The proposed site plan (Exhibit A) includes the construction of a 2,000 +/- square foot building, new landscaped area, site improvements, and the relocation of storm drainage infrastructure. The Site Plan meets the rear and side setbacks of the Mixed-Use Neighborhood Zoning District of the Downtown Specific Plan. The Applicant is requesting an exception from the maximum front setback standard due to parking and landscape requirements. The Downtown Specific Plan allows the Community Development Director to authorize a minor adjustment or exception to a development proposal that is not specified or anticipated by the DTSP. Staff supports the exception because it allows the new building to face Callander Avenue and preserves parking. Although the new building does not directly front Callander Avenue, there is an adjacent parcel that is required to remain a parking lot for the Church, which will allow the front of this new building to be seen from Callander Avenue traffic and pedestrians. An analysis of the Mixed-Use Zoning District setbacks as they pertain to the proposed project can be seen below:

Description	Mixed Use Neighborhood	Proposed Project
Front Setback	Min. 4' - Max. 20'	26'-6"
Side Yard Setback	Min. 4'	15'-10"
Rear Setback	Min. 8'	8'

B. Building Design

The proposed building is a form of modern architecture. The purpose and intent of the Architectural Guidelines of the Downtown Specific Plan are to guide the look and feel of new buildings, and to ensure that new architecture fulfills the community's vision for built forms that are attractive, while preserving the existing neighborhoods and enhancing the city's small town character. The following architectural features are consistent with Architectural Guidelines of the Downtown Specific Plan Area:

- a. Building Materials and colors shall compliment. *The proposed project features building materials and colors that compliment combining various earth tones: Silverado, Mistique Plus, and Clear Anodized (Attachment 2). These colors and patterns are compatible with the existing Church structures.*
- b. All visible building facades shall maintain a high degree of finish and articulation. *The proposed project features a high degree of finish and articulation through the use of colors that compliment and high quality materials.*
- c. Buildings should be constructed from durable materials, and materials should be represented honestly. *The proposed project features a 24-gauge metal roof, aluminum storefront, low emissivity glass, and 2030 float / base 200 exterior plaster.*
- d. Building design should address solar heat gain through building orientation, site landscaping, and use of shading devices, deeply inset windows, and roof overhangs. *The building features low emissivity glass with window placements that are deeply inset. The proposed project site also features 2,589 square feet of site landscaping. The building façade and landscaping will face Callander Avenue and will be seen by passing traffic and pedestrians.*
- e. Monotonous building facades should be avoided. *The building features multiple materials and color accents.*

2.2.4 Building Height

Where adjacent to a single-family detached house, building height is limited by a 45 degree "relational" line originating at a height of 15 feet along the side property line. *The Project, as proposed, meets this criteria as it is a single-story structure approximately 18 feet 5 inches in height.*

C. Landscaping

Currently the site has no landscaping and is developed as a parking lot. A condition of approval requires landscape and irrigation plans be submitted under a separate permit.

Staff will review and approve the plant/tree palette before installation. Plants and trees will be drought tolerant and selected for specific needs and locations. One specific need is aesthetics as the building façade will face Callander Avenue and should provide interest to passing traffic and pedestrians.

D. Parking and Traffic

An office use in the Mixed Use Neighborhood – Workplace zone of the Downtown Specific Plan requires a minimum of two (2) parking spaces per one thousand (1,000) square feet with a maximum of four (4) spaces per one thousand (1,000) square feet. The proposed building area is approximately two thousand (2,000) square feet; therefore, requiring four (4) parking spaces at a minimum and eight (8) parking spaces at a maximum.

The location of the new structure creates a loss of at least 17 parking spaces. A shared parking scheme was submitted (Attachment 3). A summary of the parking scheme can be seen below:

1. St. Francis of Rome currently has 223 total existing usable parking spaces, 43 of which are on the subject property.
2. The proposed project will eliminate 17 of the 43 parking spaces located on the parcel.
3. The building use requires 7 spaces resulting in a total minimum deficit of 24 spaces.
4. The new proposed Parish Office will have 6 occupants Monday through Friday between the hours of 9:00 am and 5:30 pm.
5. Mass services occur Monday through Friday between 8 and 9 am and classes are offered August through April from 3:45 to 5 pm.
6. Parking spaces could be utilized along Topeka Street.

Downtown Specific Plan Section 2.3.3 PARKING states that nonresidential parking requirements may be provided on-site, or off-site within 800 feet of the project site which is within two City blocks. Some street parking on Topeka Street and Santa Fe Street would be within 800 feet of the project site and thus qualify as required parking. There is no parking permitted on Callander Avenue. Some spaces within the parking lots cross property lines and a cross-access agreement between parcels is required.

E. Signage

Signage is reviewed under a separate permit and no signage is currently proposed. Signage on the plans is conceptual and not a part of this approval process.

F. Downtown Specific Plan Goals

The proposed Architecture and Site Plan Review is in conformance with the Downtown Specific Plan's Guiding Principles in the following ways:

- a. Land Use - The City will encourage development and redevelopment of Downtown as a mixed-use, high-activity area. Development and retention of retail and visitor-oriented uses, business and personal services, government and professional **offices**, communications facilities, civic uses, and high-density residential uses will be encouraged. *The Project is an office building to be used to carry on the activities of the Church.*
- b. Choice and Diversity – We will design our community so that people can walk, bicycle, or use public transit if they choose not to drive. *The Project includes sidewalks, a bicycle rack, and is located within walking distance of a bus route.*
- c. Improved Quality of Life as the City Grows – The future health of Riverbank requires that older neighborhoods be improved at the same time that new areas develop. *The Project, adjacent to the cannery, is located within an older neighborhood in the north central part of the City. New development is currently occurring in the east and west sides of the City.*

IV. FINDINGS:

A. General Plan Consistency Findings

Pursuant to the City of Riverbank General Plan, the Planning Commission must make the following findings relevant to the Architectural and Site Plan Review:

1. Policy DESIGN-7.9: The City will support efforts to reduce the visual impact of surface parking lots. *The proposed project is required to submit landscaping plans prior to the issuance of a building permit. As denoted on the conceptual site plan, landscaping will be featured throughout site which will reduce the visual impact of the site's parking lot.*
2. Policy DESIGN-8.3: The City will require the use of durable, high quality building materials to lower maintenance and replacement need and ensure the aesthetic appeal of new development and rehabilitation in the Downtown. *The proposed building will feature durable and high quality materials, which will lower maintenance and replacement need and ensure the aesthetic appeal of the structure. Currently, the site is vacant.*
3. Policy DESIGN 10.1: The City will require site and building access for pedestrians and bicyclists by providing the most direct pedestrian access from sidewalks and parking areas to building entrances while minimizing conflicts with motor vehicle traffic. *The proposed project features an ADA accessible entrance to the project toward the northern portion of the project along Topeks Street. This entrance provides all pedestrians with direct access to the building without interfering with the flow of traffic in the parking area.*

4. Policy DESIGN-10.8: The City will require ground floor building façade treatments and activities that generate pedestrian interest and comfort. Large windows, canopies, arcades, plazas and outdoor seating are examples of such amenities. *The pedestrian level of the building façade, which faces Callander Avenue, features a modern architecture design that will generate interest to the project.*
5. Policy DESIGN-10.11: The City will require incorporation of architectural and landscape features that allow for secure locking of bicycles in locations easily observed from indoors. *The project will include a bicycle rack in an accessible location within 10 feet of the building's front windows. This requirement will be a condition of approval of the project.*

V. PUBLIC NOTICE:

The Planning Commission hearing notice was published in the Riverbank News on September 5, 2018 and posted at City Hall North, South, Post Office, Community Center and website on September 6, 2018. In addition, the Applicant posted a Notice of Development Permit Application at 2818 Topeka on September 7, 2018 and notices were distributed to residents and business within 300-feet of the Project site in accordance with City standard practices on September 6, 2018. At the time of writing this Staff Report (September 13, 2018), the City has not received any written public comment. Written comments received by the City shall be supplied to the Commission on the day of the meeting.

VI. CONCLUSION:

The project is the development of a site that is currently utilized as a parking lot. The project offers both improvements to the site and Downtown Specific Plan Area. As stated above, the proposed project is in conformance with many of the goals set forth in the Downtown Specific Plan and it is consistent with the General Plan. It is hoped this project will encourage surrounding businesses to improve their sites.

VII. RECOMMENDATION:

Approve the Architecture and Site Plan Review with front setback exception subject to the conditions in Resolution 2018-005.

VIII. ATTACHMENTS:

1. Planning Commission Resolution No. 2018-005
Exhibit A - Site Plans and Elevations
2. Colors and Materials sheet
3. Parking Analysis from Applicant

Respectfully Submitted By:

Donna M. Kenney
Donna M. Kenney
Planning and Building Manager

**City of Riverbank
Planning Commission
Resolution No. 2018-005**

**ADOPTION OF ARCHITECTURE AND SITE PLAN REVIEW 01-2018 (18-0005)
WITH SETBACK EXCEPTION FOR ST. FRANCIS OF ROME CHURCH
2818 TOPEKA STREET (APN 132-024-005)**

WHEREAS, An application has been received from Mark Hart, representative for St. Francis of Rome Church, for the Architectural and Site Plan Review of an approximately 2,000 square foot one-story office building at 2818 Topeka Street (APN 132-024-005) within the Downtown Specific Plan (“DTSP”) area; and

WHEREAS, The application includes a request for an exception from the maximum front setback standard due to parking and landscape requirements. The Downtown Specific Plan allows the Community Development Director to authorize a minor adjustment to a development proposal that is not specified or anticipated by the DTSP; and

WHEREAS, The Planning Commission held a public hearing on September 18, 2018, to consider Architecture and Site Plan Review 01-2018 (18-0005); and

WHEREAS, The proposed project will not have a significant effect on the environment and is categorically exempt under Article 19 Section 15332 (a-e) Class 32, In-Fill Development Projects; and

WHEREAS, The Riverbank Planning Commission made the following findings:

1. The proposed project, together with the provisions for its design and improvements, is consistent with the goals, policies, program and uses of the General Plan.
2. The proposed Architecture and Site Plan Review along with the Conditions of Approval is in conformity with both the intent and provisions of the Zoning Ordinance, Title 153, of the City of Riverbank Code of Ordinances and the Downtown Specific Plan; and

WHEREAS, the project is consistent with the following General Plan policies:

1. Policy DESIGN-7.9: The City will support efforts to reduce the visual impact of surface parking lots.

2. Policy DESIGN-8.3: The City will require the use of durable, high quality building materials to lower maintenance and replacement need and ensure the aesthetic appeal of new development and rehabilitation in the Downtown.
3. Policy DESIGN 10.1: The City will require site and building access for pedestrians and bicyclists by providing the most direct pedestrian access from sidewalks and parking areas to building entrances while minimizing conflicts with motor vehicle traffic.
4. Policy DESIGN-10.8: The City will require ground floor building façade treatments and activities that generate pedestrian interest and comfort. Large windows, canopies, arcades, plazas and outdoor seating are examples of such amenities; and

WHEREAS, the request and plans of St Francis of Rome, owner, are hereby granted and approved, subject to the following conditions:

1. Applicant shall comply with the City of Riverbank Standard Conditions as contained in the Planning Commission Resolution 2013-014 and/or receive confirmation from the Community Development Director that a specific condition or conditions does not apply to the subject project; and
2. The applicant shall build the entire project according to the site plans and elevations date stamped August 16, 2018 and on file with the Community Development Department and presented to the Planning Commission as part of this action; and
3. Topographical survey and grading plan is required; and
4. Complete Civil Plans for grading, water, sewer, and storm drainage showing elevations are required; and
5. Driveway and sidewalks need to conform to ADA standards; and
6. All broken or lifted sidewalks, curbs, and gutters are to be replaced; and
7. Stormwater Plan including geo report, calculations, and hydromodification shall be submitted. A storm filter and drainage maintenance agreement between the project owner and the City is required to be signed; and
8. The water system shall be shown on plans including the backflow device, fire department connection, water meters (1. building service and 2. landscaping), post indicator valve, and water service to the building; and

9. SWWWP for development must be submitted; and
10. ADA signage for entrance to parking lot must be installed (11B-502.8); and utilities shall be undergrounded: electrical, communications, gas, water, fire line, and sewer; and
11. The City's Post Construction Standards Plan needs to be followed including DMA's LID standards, and the required worksheets located in the Appendix of the document. The document is available on the City's website .A reciprocal ingress-egress and parking easement shall be prepared and recorded for both parcels unless a lot merger is created; and
12. Show on plans any off-site improvements. The sidewalk on CA-108 shall be completed pursuant to the recorded deferred infrastructure agreement; and
13. Provide City Standard details for water and sewer connections; and
14. When improvements take place, Fire Code permits shall be obtained as required by Title 24 of the California Fire Code; and
15. The Community Development Director shall approve a bicycle rack design before its installation. Installation shall occur before Building Final; and
16. An application, landscape and irrigation plans including documentation package, water efficient landscape worksheet, soil management report, slopes, drainage patterns, pad elevations, and finished grade conforming to the state's MWELo requirements, and current fee shall be submitted and approved by the City before the issuance of a Building Permit. Landscaping and irrigation shall be installed and approved before Building Permit Final; and
17. New signage shall be reviewed and approved under a separate permit; and
18. All exterior lighting shall be LED and focused downward on the site; and
19. Existing chain link fence along the east property line shall be replaced with a 6 foot wooden good neighbor fence.

NOW THEREFORE, BE IT RESOLVED by the City of Riverbank Planning Commission that Architecture and Site Plan Review 01-2018 is hereby approved, subject to those conditions established by Resolution No. 2018-05 and as illustrated in Exhibit "A": Site Plans and Elevations date stamped August 16, 2018.

PASSED AND ADOPTED by the Planning Commission of the City of Riverbank at a regular meeting held on the 18th of September, 2018, motioned by Commissioner

_____, seconded by Commissioner _____, and upon roll call was carried by the following vote _-_:

AYES:

NOES:

ABSENT:

ABSTAIN:

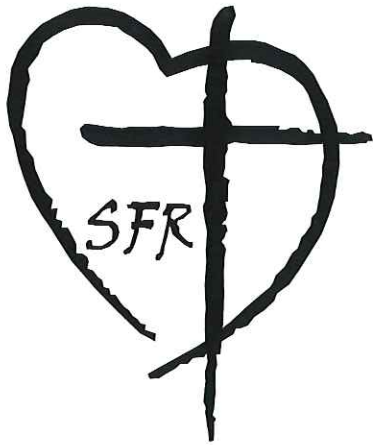
Attest:

Approved:

Donna M. Kenney,
Planning and Building Manager

John Dinan, Chair
Planning Commission

Exhibits: A – Site Plans and Elevations



ST. FRANCES OF ROME

PARISH OFFICE BUILDING

SATORI

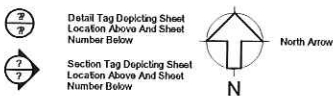


architecture

418 PENNSULA AVENUE
SAN LUIS OBISPO, CA 94901
805.208.6005

ABBREVIATIONS AND SYMBOLS:

Cl.	Clear	IPMC	International Property Maintenance Code
C	Center Line	CBSC	California Building Standards Commission
Eq.	Equal	CBC	California Building Code
E.F.	Exhaust Fan	CEC	California Electrical Code
F.D.	Floor Drain	CMC	California Mechanical Code
O.C.	On Center	CPC	California Plumbing Code
S.F.	Square Foot	CFG	California Fire Code
S.I.	Square Inch	CGBC	California Green Building Standards Code
U.N.O.	Unless Noted Otherwise		
T.O.P.	Top Of Plate		
T.O.S.	Top Of Slab		



PROJECT NOTES:

- These Drawings Must Be Used Solely For The Purpose Of Permitting, Bidding And Constructing The Project Illustrated Within. All Copies Must Be Requested / Obtained Strictly Via The Architect's Consent And By Any Other Means Infringes Upon Applicable Privacy / Copyright Laws. Prima Facie Contact With These Plans Constitutes Acceptance Of Stated Conditions.
- Do Not Scale Drawings As Written Dimensions Govern.
- All Dimensions Are From Face Of Framing Unless Noted Otherwise.
- All Wall Locations Must Be Per Architectural Floor Plan(s) And Take Precedence Over All Other Plans.
- All Work Must Be Erected Plumb, Level, Square And True And Must Meet / Exceed Construction Industry Standards Or It Will Be Rejected By The Architect. Similarly, Any Work That Does Not Adhere To The Design Intent In Conjunction With Applicable Codes Will Be Rejected By The Architect.
- The Architect Must Be Notified Immediately In The Event Of Any Discrepancies, Errors Or Omissions With The Information Depicted.
- The Architect Must Approve All Substitutions Prior To Installation.
- Prior To Commencing Construction, The Contractor(s) Must Review Project Drawings In Relation To Existing Site Conditions With Owner's Architect For Scope Of Work Clarification And Potential Conflict Identification.

PROJECT REVIEW:

The Proposed Work Shall Include But Not Be Limited To:

Site Demolition -

Precast Wheelstops, Asphaltic Concrete Paving And Storm Drain

Site Installation -

Electrical, Plumbing Supply / Waste And Storm Drain Conduit, Concrete Slab And Associated Footings, Wood Stud Wall And Roof Framing, Exterior Wall Plaster, Metal Standing Seam Roof Paneling, Concrete Walkways, Landscaping, Irrigation, Lighting And Accessible Parking

PROJECT DATA:

Permitting Agency:	Riverbank City Building Division 6617 Third Street, Riverbank, CA 95367 209.863.7128
Codes:	2015 IPMC, 2016 CBSC Including The CBC, CEC, CMC, CPC, California Energy Code, CFG And CGBC
Occupancy:	Group B
Occupant Load:	1,920 S.F. / 100 = 19
Construction Type:	V-B (Non-Sprinklered)
Assessor's Parcel Number:	132.024.005.000
Property Description:	Riverbank Acreage Tract Lot 23 North Half Division
Downtown Specific Plan Zone:	MU - Mixed Use Neighborhood
Permitted Use:	Workplace - Allowed
Existing Lot Area:	11,250 S.F. (258 Acres)
Proposed Building Footprint:	1,066 S.F.
Proposed Landscape Area:	2,589 S.F.
Remaining Paved Area:	5,995 S.F.
Proposed Concrete Area:	670 S.F.

SHEET INDEX:

T1	Sheet Index, Vicinity Map, Project Review, Project Data, Project Notes, Abbreviations And Symbols
01	Preliminary Topographic Survey (Reference Only)
A1	Parish Site Plan
A1.1	Building Site Plan
A1.2	Building Foundation Plan
A1.3	Building Floor Plan
A2	Building Sections
A2.1	Building Elevations
A2.2	Building Elevations
L1	Site And Landscape Drain Plan
L1.1	Landscape Plan
L1.2	Landscape Irrigation Plan

VICINITY MAP:



ST. FRANCES OF ROME PARISH OFFICE BUILDING
2818 TOPEKA STREET RIVERBANK, CA

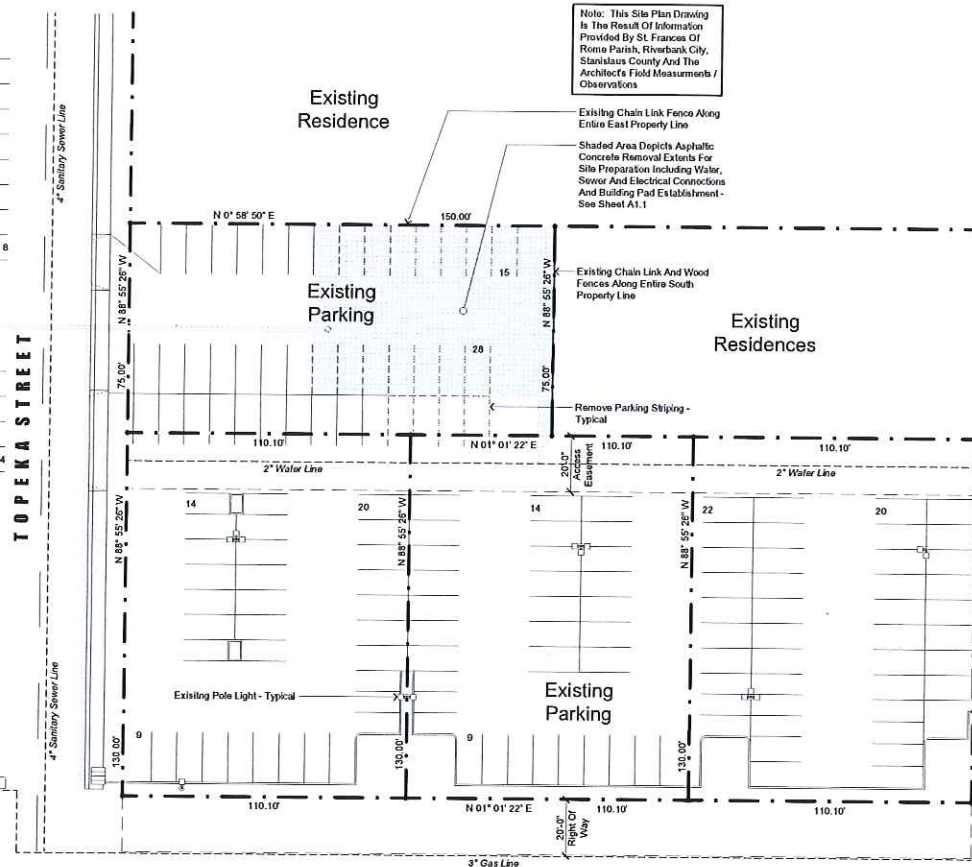
COVER

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T1

AUG 16 2018

DEVELOPMENT SERVICES 24



Note: This Site Plan Drawing is the Result of Information Provided By St. Frances Of Rome Parish, Riverbank City, Stanislaus County And The Architects Field Measurements / Observations

Existing Chain Link Fence Along Entire East Property Line
Shaded Area Depicts Asphaltic Concrete Removal Extends For Site Preparation Including Water, Sewer And Electrical Connections And Building Pad Establishment - See Sheet A1.1

Existing Chain Link And Wood Fences Along Entire South Property Line

Remove Parking Striping - Typical

Existing Pole Light - Typical



428 PENNGUIN AVENUE
SAN MATEO, CA 94401
650.208.9005

ST. FRANCES OF ROME PARISH OFFICE BUILDING
2818 TOPEKA STREET RIVERBANK, CA

PARISH SITE PLAN

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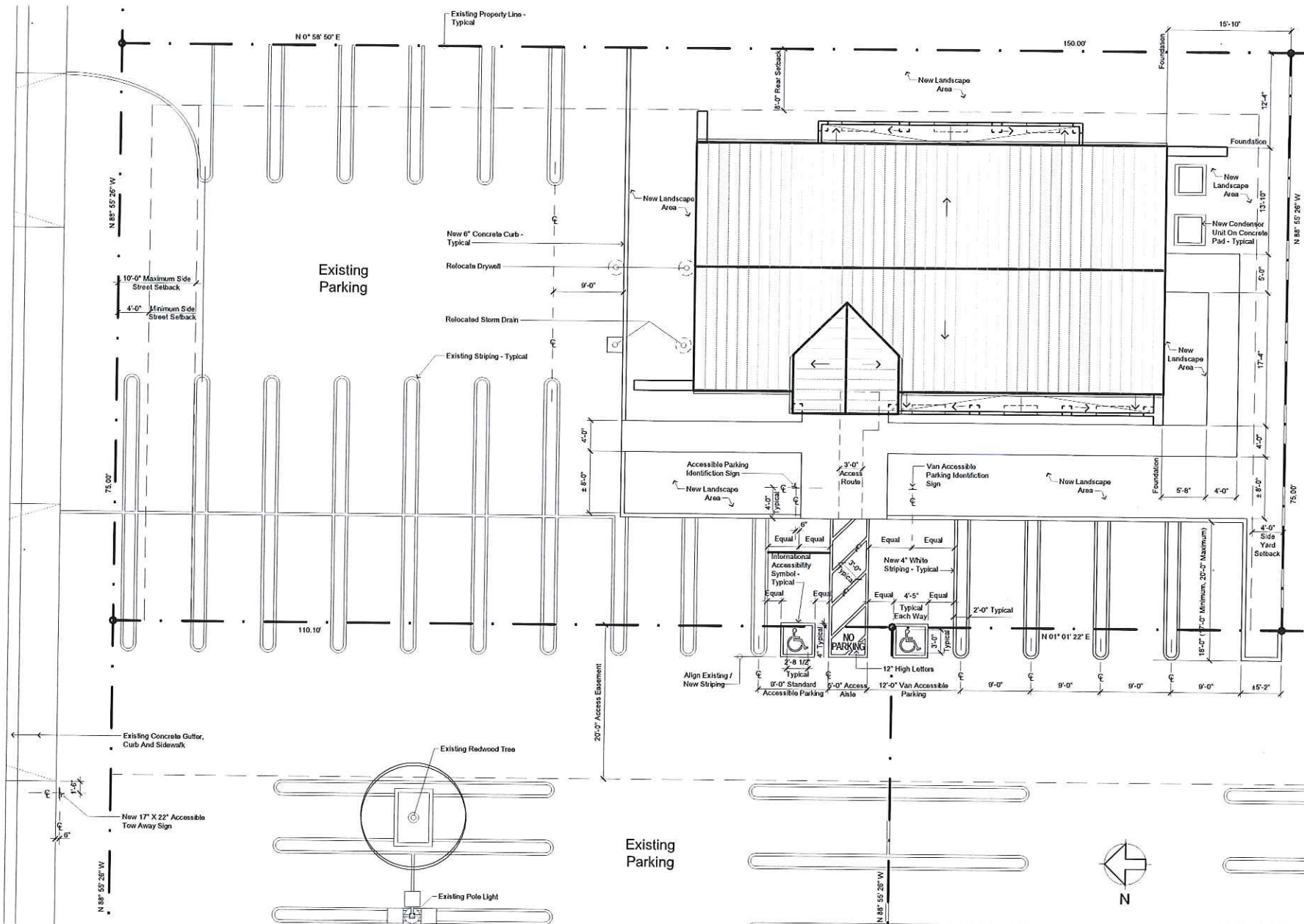
CITY OF RIVERBANK

A1

AUG 16 2018

DEVELOPMENT SERVICES

ТОРЕКА STREET



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650 206 9505

ST. FRANCES OF ROME PARISH OFFICE BUILDING
2818 TOPEKA STREET RIVERBANK,CA

2818 TOPEKA STREET RIVERBANK CA

SITE PLAN

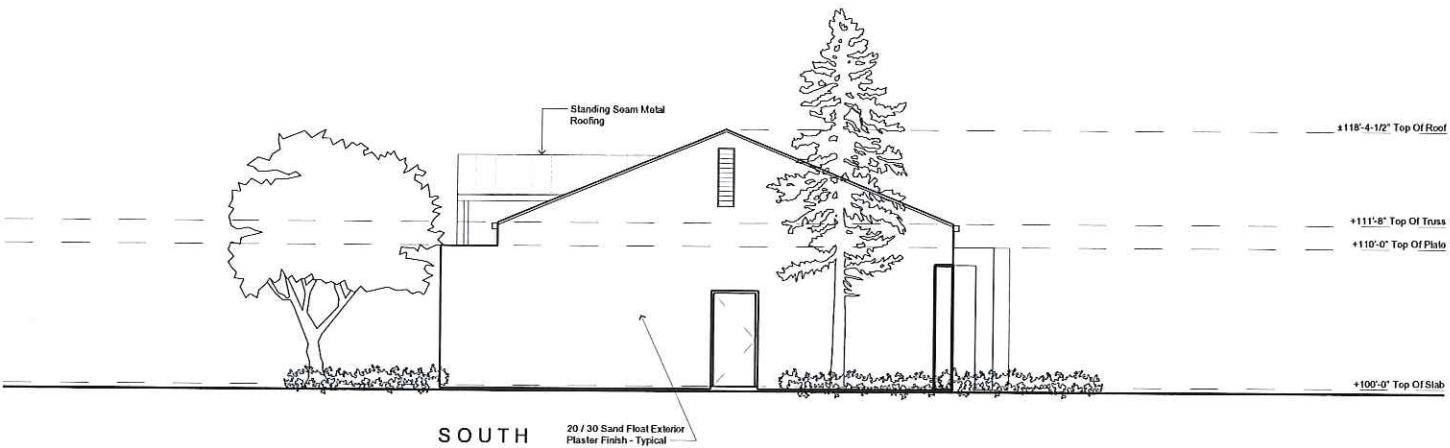
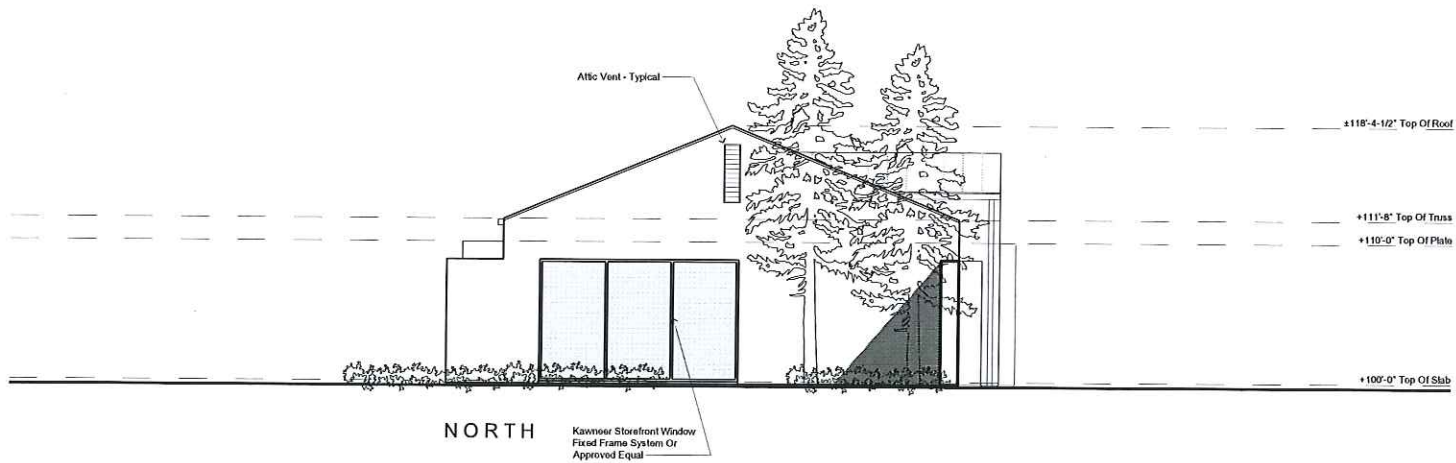
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A1.1

CITY OF RIVERBANK

AUG 16 2018

DEVELOPMENT SERVICES **26**



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650.208.0909

ST. FRANCES OF ROME PARISH OFFICE BUILDING
2813 TOPEKA STREET RIVERBANK, CA

ELEVATIONS

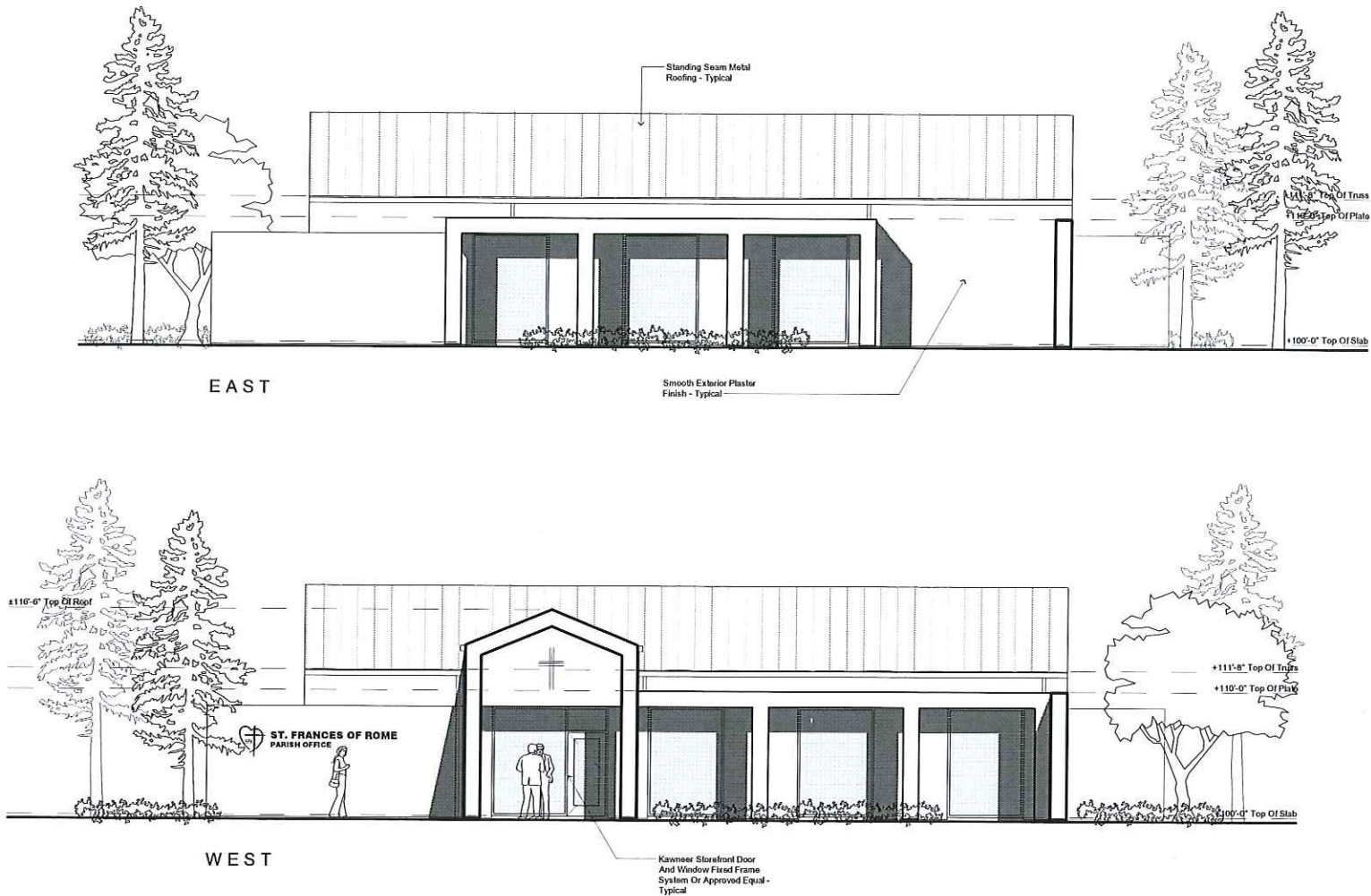
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CITY OF RIVERBANK

A2.1

AUG 16 2018

DEVELOPMENT SERVICES



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ST. FRANCES OF ROME PARISH OFFICE BUILDING
2818 TOPEKA STREET RIVERBANK, CA

ELEVATIONS

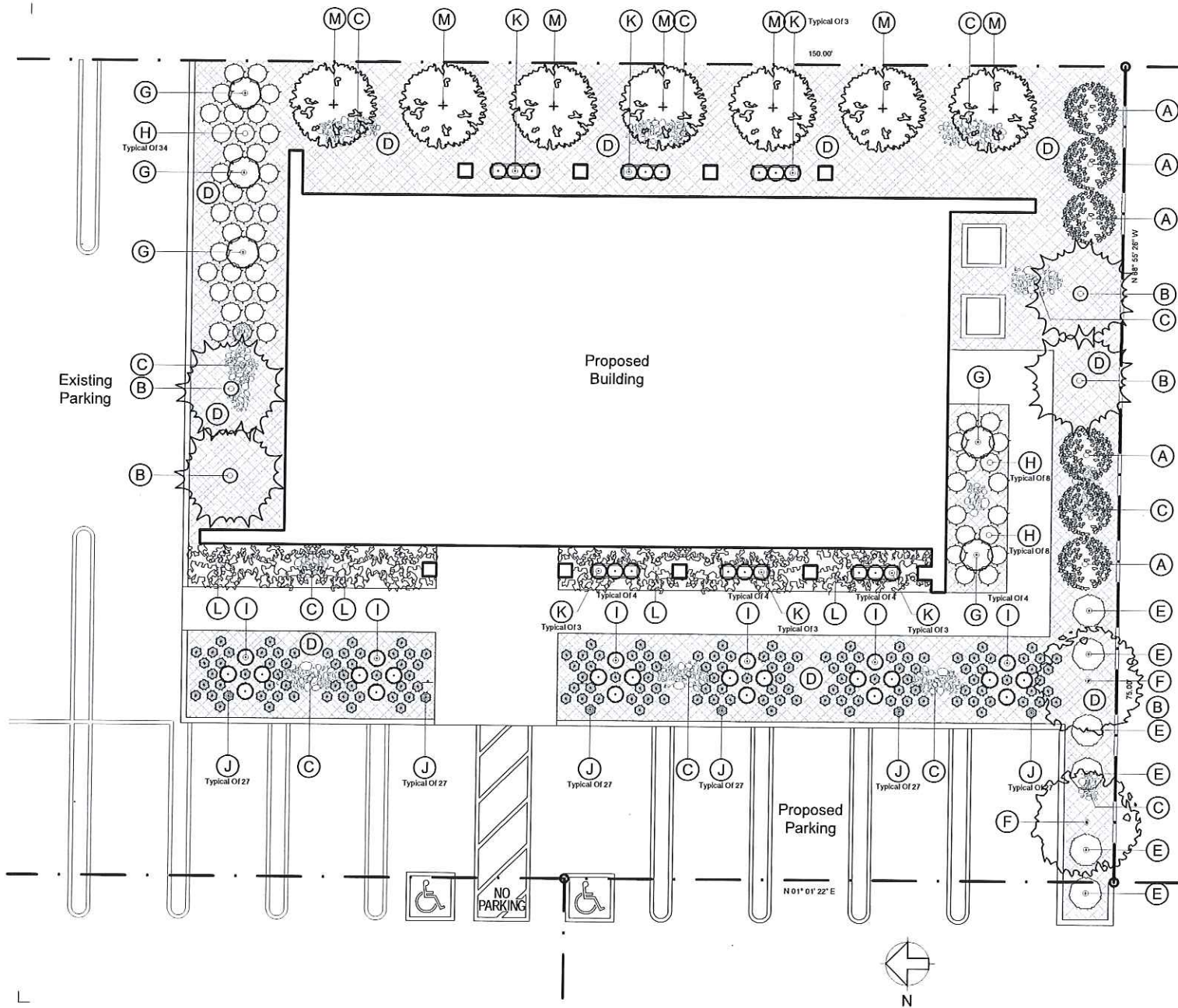
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CITY OF RIVERBANK

AUG 16 2018

DEVELOPMENT SERVICES

A2.2



NOTES:

1. Landscaping Shall Comply With Riverbank City Landscape Ordinance 2014-005
2. Landscape Plan Shows Approximate Size At Maturity For All Specimens
3. All Substitutions Permitted With Architect's Approval

SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	NOTE
(A)	Laurel Nobilis	Bay Laurel	5 Gallon Minimum
(B)	Cryptomeria Japonica	Japanese Cedar (Sekkan Sug)	15 Gallon Minimum
(C)	---	River Rock	1/4 Yard Per Area Drain, 3"-6" Size
(D)	Shredded Redwood Bark	Gorilla Hair	Black Color, 8" Uniform Depth
(E)	Gardenia Jasminoides	Summer Snow Gardenia	5 Gallon Minimum
(F)	Cercis Occidentalis	Western Redbud	15 Gallon Minimum
(G)	Rhododendron 'Fragrant Star'	Azalea 'Fragrant Star'	5 Gallon Minimum
(H)	Liriope Muscari	Lily Turf	1 Gallon Minimum
(I)	Lavandula Angustifolia	Hidcole Superior English Lavender	5 Gallon Minimum
(J)	Ophiopogon Japonicus	Mondo Grass	1 Gallon Minimum
(K)	Lavandula Angustifolia	Dwarf English Lavender	5 Gallon in 4'-3" x 1'-4" Planter Box
(L)	Trachelospermum Jasminoides	Star Jasmine	1 Gallon Minimum
(M)	Euonymus Alatus Compactus	Dwarf Burning Bush	5 Gallon Minimum

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650 205 9005

ST. FRANCES OF ROME PARISH OFFICE BUILDING
2318 TOPEKA STREET RIVERBANK, CA

LANDSCAPE PLAN

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L1.1

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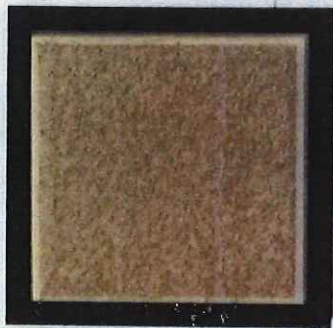
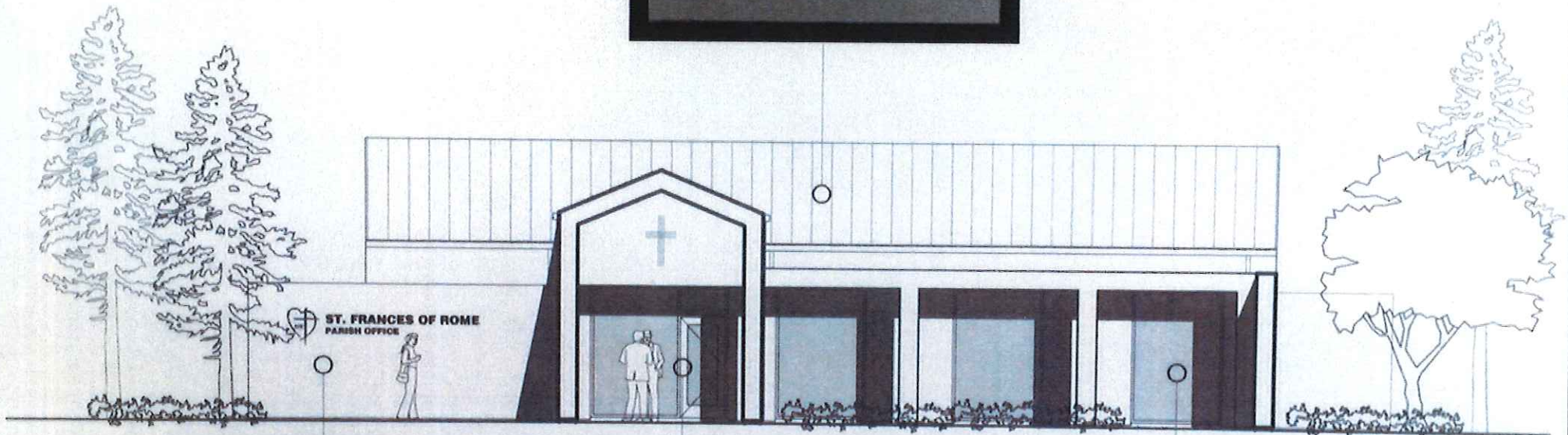
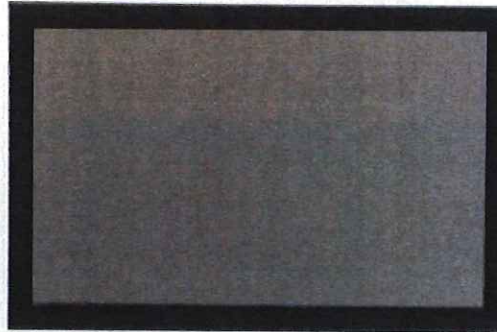
architecture

435 FERNHILL AVENUE
SAN MARINO, CA 91101
909 238 9100
229 4th Floor

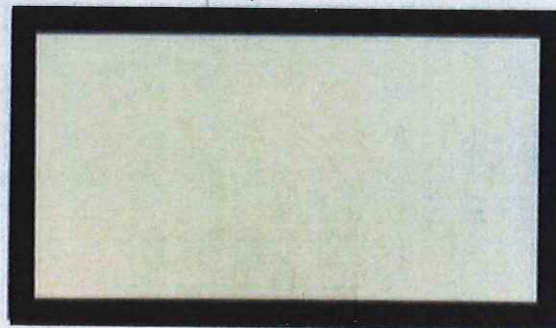
MATERIAL SAMPLES

St. Frances of Rome Parish
Proposed Office Building
2818 Topeka Street Riverbank, CA

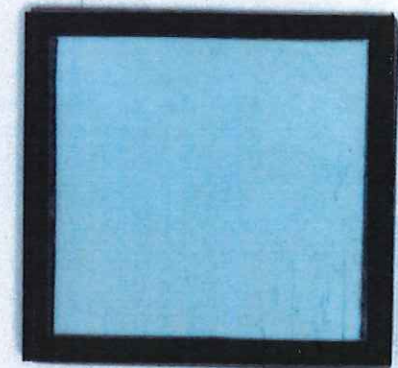
24 Gauge Standing Seam Metal Roof
Color: Mistique Plus



2030 Float / Base 200 Exterior Plaster
Color: X-820 Silverado



Aluminum Storefront
Color: Clear Anodized



Low Emissivity Glass



August 15, 2018

Riverbank Community Development Department
6707 Third Street
Riverbank, CA 95367
209.863.7124

RE: ARCHITECTURAL + SITE PLAN REVIEW COMMENT NO. 21 DATED JULY 11, 2018
FOR PROPOSED PROJECT LOCATED 2818 TOPEKA STREET APN 132.024.005

City Staff;

The St. Francis of Rome Parish currently has 223 total existing usable parking spaces 43 of which are within the subject property. For the proposed structure to be built and satisfy all codes, standards and requirements at least 17 spaces will be eliminated. The building use requires 7 spaces resulting in a total minimum deficit of 24 spaces. The current Parish Site Plan (Sheet A1) shows where not less than 10 vehicles could park parallel on Topeka Street for a revised minimum deficit of 14 spaces.

Regardless, there is no probable means for providing all the needed parking spaces. Thus, the concept of shared parking is being suggested as a viable alternative. The new Parish Office will have 6 occupants working Monday through Friday between the hours of 9 am and 5:30 pm. Mass services occur Monday through Friday between 8 and 9 am and Confraternity of Christian Doctrine (CCD) Classes are offered August through April from 3:45 to 5 pm. While there is an overlap with Office hours CCD students primarily arrive and depart by vehicles that mostly do not park. All other Church functions happen at hours or on days when the Office is not open.

Therefore, when considering how Parish activities are scheduled at varying days and times a shared parking scenario demonstrates that space needs will still be sufficiently met following project completion.

Mark Hart, Architect



SATORI ARCHITECTURE

428 PENINSULA AVE. SAN MATEO, CA 94401 650.206.9505