



CITY OF RIVERBANK
Regular Planning Commission Meeting
Tuesday, October 21, 2025, AT 6:00 P.M.
Council Chambers, 6707 Third St., Suite B, Riverbank CA 95367

PLANNING COMMISSION AGENDA

TUESDAY, OCTOBER 21, 2025 – 6:00 P.M.

(THE AGENDA PACKET IS ONLINE AT T [HTTP://WWW.RIVERBANK.ORG/AGENDACENTER](http://www.riverbank.org/agendacenter))

CALL TO ORDER: Chair: Taide Zamora

ROLL CALL: Chair: Taide Zamora
Vice Chair: Michael "Syd" Halterman
Commissioner: John Dinan
Commissioner: Joan Stewart
Commissioner: Natasha Basso
Commissioner (Alternant): Ben Reuben
Commissioner (Alternant): Armando Rodriguez

CONFLICT OF INTEREST

Any Planning Commission Member or Staff who has a direct Conflict of Interest on any scheduled agenda item to be considered is to declare their conflict at this time.

1. PUBLIC COMMENTS (No Action Can Be Taken)

At this time, members of the public may comment on any item **not appearing on the agenda** and within the subject matter jurisdiction of the Planning Commission Board. Individual comments will be limited to a **maximum of 3 minutes (or as stated by the presiding Officer)** and time cannot be yielded to another person. **Under State Law, matters presented during the public comment period cannot be discussed or acted upon.** For record purposes, state your name and City of residence. Please make your comments directly to the Planning Commission Members.

2. CONSENT CALENDAR

All items listed on the Consent Calendar are to be acted upon by a single action of the Planning Commission Board unless requested by an individual Planning Commission Member or member of the public for special consideration. Otherwise, the recommendation of staff will be accepted and acted upon by motion of the Planning Commission Board.

Item 2.1: Posting of the Agenda. The Agenda for October 21, 2025, Planning Commission meeting was posted on the City Community Center bulletin board, City Hall North & South bulletin boards, Post Office, City website, and emailed to the Library on October 17, 2025.

Item 2.2: Approval of October 21, 2025, Agenda. This provides an opportunity for the Planning Commission or Staff to recommend that an item be placed on the agenda for discussion or to adjust the proposed agenda to allow an item to be taken out of order.

Item 2.3: Approval of August 19, 2025, Planning Commission Meeting minutes, having been read by the individual Commissioners and stands approved as submitted. *Abstain from voting: None.*

3. PLANNING COMMISSION PUBLIC HEARINGS

The public notice for item 3.1 & 3.2 was published on October 8, 2025, in the Riverbank News.

Item 3.1: Architecture and Site Plan Review Application No. 08-2025 (Dept. File No. 25-0031) – Watermill Express – Reso#2025-015 - Request to remove and replace the existing water filtration station.

Item 3.2: Conditional Use Permit Application No. 05-2025 & Architecture and Site Plan Review Application No. 07-2025 (Dept. File No. 25-0026) – 108 Sports Lounge – Reso#2025-016 & 2025-017 - Request to expand an existing sports bar and modify previously approved use permit conditions that restricted business hours and prohibited dancing and live/loud music.

4. PLANNING COMMISSION COMMENTS

5. COUNTY REFERRAL/CORRESPONDENCE/INFORMATION (Information only – No Action)

None.

6. STAFF COMMENTS (Information Only – No Action)

Item 6.1: Joshua Mann, Community Development Director, to update the Commission on upcoming planning applications and City Council actions.

8. ADJOURNMENT Next Regular Planning Commission meeting – November 18, 2025 @ 6:00 pm.

AFFIDAVIT OF POSTING

I hereby certify under penalty of perjury, under the laws of the State of California that the foregoing agenda was posted at the meeting location, on the North & South City Hall public exterior bulletin board, Riverbank Community Center exterior bulletin, and the City's website 72 hours prior to the meeting in accordance to the California Ralph M. Brown Act. Posted this 17th day of October 2025.

/s/ Janet Smullen, Sr. CDS, City of Riverbank

Any documents that are not privileged or part of a Closed Session provided to a majority of the Planning Commission Board after distribution of the agenda packet, regarding any item on this agenda, will be made available for public inspection at the City Clerk's Office, 6707 Third Street, Suite A, Riverbank, CA, during normal business hours.



ADA COMPLIANCE STATEMENT

In compliance with the Americans with Disabilities Act, and the Governor's Executive Order N-29-20, the City will make every effort to make reasonable modifications or accommodations from individuals with disabilities. Contact the Administration Dept. at (209) 863-7122 or the City Clerk at cityclerk@riverbank.org at least (48) hours prior to the meeting to enable the City to make reasonable arrangements for accessibility.

NOTICE REGARDING NON-ENGLISH SPEAKERS

Pursuant to California Constitution Article III, Section IV, establishing English as the official language for the State of California, and in accordance with California Code of Civil Procedures Section 185, which requires proceedings before any State Court to be in English, notice is hereby given that all proceedings before the City of Riverbank City Planning Commission shall be in English and anyone wishing to address the Planning Commission is required to have a translator present who will take an oath to make an accurate translation from any language not English into the English language. (Exception: When a State statute requires that at a public hearing that includes a substantial number of the population that are not able to speak or understand English, the City should provide interpreters. This determination is left at the discretion of the City.)

General Information

Meeting Schedule: The Planning Commission meets on the third Tuesday of each month at 6:00 p.m.



TELECONFERENCE/VIRTUAL PLATFORM PUBLIC PARTICIPATION COMMENT PROCEDURES FOR THE PLANNING COMMISSION MEETING HELD IN CONFORMANCE WITH THE BROWN ACT

PUBLIC "LIVE" VIEWING

- Government Channels: Charter – 2 and AT&T U-VERSE – 99
- YouTube Live – City of Riverbank
- Via ZOOM Platform (See instructions below)

SUBMITTING PUBLIC COMMENTS FOR THE RECORD

Written comments must be received before 4:00 p.m. on the day of the meeting in order for them to be distributed to the Planning Commission prior to consideration of the matter. Written comments will not be read aloud at the meeting, but will be reported as received for the record. If you do not receive an acknowledgement of receipt within an hour of submission or by 5:00 p.m., please call the Planning and Building Manager at (209) 863-7124.

ACCEPTABLE METHODS OF SUBMITTING COMMENTS BEFORE THE 4:00 PM DEADLINE

- **Via Mail Service:** Mail comments to City of Riverbank, Attn. Planning and Building Manager, 6707 Third Street, Suite A, Riverbank, CA 95367.

(Call 209-863-7124 / 209-863-7198 to ensure they were received.)

- **Via Email:** Email to jmann@riverbank.org (Note: This technology is not a guaranteed method.)
 - Indicate Agenda Item # in the **subject line**. (Call 209-863-7124 / 209-863-7198 to ensure receipt.)
- **Oral Comments In-Person:** The Chair will ask the public if anyone wishes to comment, at that time you may approach the podium.
- **Oral Comments Via Zoom:** The Chair will announce when public comments may be made for a limit of 3minutes on the agenda item being considered, at which time you will:
(please make sure the volume on your video device or any nearby device is turned down.)
 - Using a computer – click on the “raise hand” feature in the webinar controls. This will alert staff that you wish to speak, and you will be unmuted.
 - Using a Phone – press *9 to “raise the hand”. This will alert staff that you wish to speak, and you will be unmuted.

Teleconference Phone Number (This system is a backup for ZOOM technical difficulties only when providing oral comments.) If there are technical difficulties or disconnection with ZOOM while making oral comments, please immediately call the teleconference phone number (209) 863-7151 so that Planning may receive your comments. Planning will be waiting for your call. Thank you.

JOIN THE MEETING VIA ZOOM PLATFORM

Join by this link: <https://us02web.zoom.us/j/86737881996>

Join by accessing website: <https://zoom.us/join>, enter Webinar ID: 867 3788 1996

Join by telephone: 1-669-444-9171 OR 1-669-900-9128 or 1-336-248-27799, enter Webinar ID: 867 3788 1996

Learn about using ZOOM: - Visit <https://zoom.us/j/94943925973?status+success> for a free account or to download the application.



City of Riverbank

6707 Third Street • Riverbank CA 95367
Office: (209) 863-7128 • FAX: (209) 869-7126

This table is not for publication	
PUBLISH DATE: October 8, 2025	
DEPT.: Planning	Riverbank News

NOTICE OF PUBLIC HEARING **CITY OF RIVERBANK PLANNING COMMISSION**

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Riverbank will hold a public hearing on **Tuesday, October 21, 2025, at 6:00 p.m.** or soon thereafter as practical via the Zoom virtual platform and in-person attendance in the City Council Chambers at 6707 Third Street, Suite B, Riverbank, CA. This meeting will be held in accordance with the Brown Act amendment (AB 361). This public hearing is to consider the following matter:

ARCHITECTURE & SITE PLAN REVIEW NO. 08-2025 – (DEPT. FILE NO. 25-0031) – WATERMILL EXPRESS

The project is a request for an Architecture and Site Plan Review to replace an existing water vending unit with a new unit located at 3239 Sierra Street, between 2nd and 3rd Street (APN 132-011-048). The project is exempt from CEQA per Section 15302, Replacement or Reconstruction.

CONDITIONAL USE PERMIT NO. 05-2025 & ARCHITECTURE & SITE PLAN REVIEW NO. 07-2025 – (DEPT. FILE NO. 25-0026) – 108 SPORTS LOUNGE

The project is a request for a Conditional Use Permit & Architecture and Site Plan Review to expand an existing sports bar, located at 3119 Atchison Street, between 1st and 2nd Street (APN 132-003-038). This request also seeks to modify the previously approved Use Permit conditions that restricted business hours and prohibited dancing and live/ loud music. The project is exempt from CEQA per Section 15301, Existing Facilities.

Planning Commission Meeting
October 21, 2025 at 6:00 pm
City Hall Council Chambers - 6707 Third St., Suite B - Riverbank, California

REPORT AVAILABILITY: Public materials pertaining to the presentation of the subject matter are made available as part of the agenda packet at <http://www.riverbank.org/AgendaCenter> upon distribution to a majority of the Planning Commission, (72 hours prior to the meeting), and may

be viewed at the City Clerk's Office, 6707 Third St., Suite A, Riverbank, during normal business hours.

ALL INTERESTED PERSONS are invited to participate in this public meeting to express views or submit evidence for or against the subject matter being considered. Comments are not accepted via telephone. The following submission of comments are accepted for the record.

Written Comments Prior to the Meeting. Written comments may be delivered in-person to the City of Riverbank, City Clerk's Office, 6707 Third St., Suite A, Riverbank, 95367. Written comments submitted via email to jmann@riverbank.org or via Mail Delivery Service requires a follow up phone call to (209) 863-7124 for verification of receipt by staff. All written comments must be received by the City Clerk **no later than 4:00 p.m. on the day of the meeting.** Comments received by the deadline will be distributed to the Planning Commission for consideration and will be made part of the official record, but will not be read aloud during the meeting.

Oral Comments In-Person During the Meeting. Oral comments may be made at the time the Chair officially opens the hearing for public comment and in the order as called upon by the Chair. Public attendees in the Council Chambers may approach the podium upon the Chair's request to do so.

ADA COMPLIANCE: In accordance with ADA, every effort will be made to accommodate any person requiring special assistance to participate in the meeting. Contact the City Clerk at (209) 863-7198 or cityclerk@riverbank.org at least (48) hours prior to the meeting.

Questions regarding the proposed subject matter may be made to Senior Planner Teresa McDonald at (209) 863-7124 or email planning@riverbank.org, or email the City Clerk. Questions in regards to meeting procedures contact the City Clerk (209) 863-7198 or call the Administration Dept. at (209) 863-7122 **prior to 4:00 p.m. on the day of the meeting.**

Published this 8th day of October 2025.

/s/ Teresa McDonald, Senior Planner, City of Riverbank

AFFIDAVIT OF POSTING		
I, Janet Smallen, hereby certify under penalty of perjury under the laws of the State of California that the foregoing public notice was posted on the exterior bulletin board of North City Hall, South City Hall, and at the Community Center, Riverbank, CA. Dated this 9 th day of October 2025. /s/ Janet Smallen, Senior Community Development Specialist, Riverbank, CA		

For official use only:

Posted: 10/9/2025	Publish: 10/8/2025	Remove: 10/22/2025
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City of Riverbank
Planning Commission Meeting
City Hall North • Council Chambers
6707 Third Street • Suite B • Riverbank • CA 95367

MINUTES
Tuesday, August 19, 2025
(In-Person)

The following minutes reflect action minutes, with added clarification for the record. A copy of the verbatim recording may be obtained, if available, for a fee by contacting the Development Services Department at (209) 863-7128.

CALL TO ORDER/ROLL CALL:

Present: Commissioners: Zamora (Chair), Halterman (Vice Chair), Dinan, Stewart, Basso and Rodriquez (Alternate)

Absent: Commissioners: Reuben (Alternate)

CONFLICT OF INTEREST: Any Planning Commissioner and Staff who would have a direct Conflict of Interest on any scheduled agenda item to be considered are to declare their conflict.

None.

1. PUBLIC COMMENTS (No action to be taken)

At this time, members of the public may comment on any item not appearing on the agenda, and within the subject matter jurisdiction of the Planning Commission. Individual comments will be limited to a **maximum of 3 minutes** per person and each person may speak once during this time; time cannot be yielded to another person. Under State Law, matters presented during the public comment period cannot be discussed or acted upon. For record purposes, state your name and City of residence. Please make your comments directly to the Planning Commission.

Fred Walton opposes the River Walk Project.

Karen Comrotto opposes the River Walk Project.

Milt Treewhiler opposes the River Walk Project.

2. CONSENT CALENDAR

All items on the Consent Calendar are to be acted upon by a single action of the Planning Commission unless otherwise requested by an individual Planning Commissioner for special consideration. Otherwise, the recommendation of staff will be accepted and acted upon by roll call vote.

Item 2.1: Posting of the Agenda. The Agenda for the August 19, 2025, Planning Commission Meeting was posted on the City Community Center bulletin board, City Hall North & South bulletin boards, Post Office, city website and emailed to the Library on August 14, 2025.

Item 2.2: Approval of the August 19, 2025 Agenda. This provides an opportunity for the Planning Commission or Staff to recommend that an item be placed on the agenda for discussion or to adjust the proposed agenda to allow an item to be taken out of order.

Item 2.3: Approval of the June 17 & July 15, 2025 Planning Commission Meeting minutes, having been read by the individual Commissioners and stands approved as submitted. *Abstain from voting: June 17th Reuben and July 15, 2025 Reuben and Stewart*

ACTION: *By motion moved/second (Dinan / Halterman passed 5-0) was approved as submitted; Motion carried by unanimous roll call vote.*

Ayes: Planning Commissioners: Zamora, Halterman, Rodriquez, Dinan, Stewart, and Basso

Nays: None

Abstained: None

Absent: Reuben (Alternate)

3. NEW BUSINESS

Item 3.1: GENERAL PLAN CONSISTENCY DETERMINATION FOR ROAD ABANDONMENT APPLICATION NO. 01-2025 (DEPT. FILE NO. 25-0016) – OLD CRAWFORD ROAD (WESTGATE DRIVE) – RESO#2025-014: The project is a request to formally abandon/vacate 0.64± acres of Westgate Drive to facilitate the future alignment and intersection of Westgate Drive and Machado Parkway consistent with the Crossroads West Specific Plan, and to support the development of a new K-8 school adjacent to the area proposed for abandonment. The project is a component of a previously evaluated project and has been determined to be exempt from the California Environmental Quality Act (CEQA) (CEQA Guidelines, § 15378).

- Joshua Mann, Community Development Director, presented item 3.1 and Power Point.
- Public hearing was opened at 6:18 p.m.
- Milt Trewilder came up and spoke.
- Dave Romano Attorney for the Machado Family came up and spoke about the abandonment.
- Being no further comments the public hearing was closed at 6:23 p.m.
- Commissioner Halterman had a few questions about the area around the school site.
- Josh Mann responded to his questions.

ACTION: *By motion moved/second (Dinan / Basso passed 5-0) was approved as submitted; Motion carried by unanimous roll call vote.*

Ayes: Planning Commissioners: Zamora, Halterman, Dinan, Stewart, and Basso

Nays: None

Abstained: None

Absent: Commissioners: Reuben (Alternate)

4. PLANNING COMMISSION COMMENTS

5. COUNTY REFERRAL/CORRESPONDENCE/INFORMATION

Item 5.1: Joshua Mann informed staff that we received a letter from the League of Women Voters of Stanislaus County opposing the River Walk Project.

6. STAFF COMMENTS (Information only – No Action)

- Joshua Mann, Community Development Director gave an update on the Housing Element.

7. ADJOURNMENT - Regular Planning Commission Meeting – August 19, 2025.

ATTEST:

APPROVED:

Joshua Mann
Community Development Director

Taide Zamora
Planning Commission Chair

**CITY OF RIVERBANK PLANNING COMMISSION
STAFF REPORT**

ITEM NO:	3.1	October 21, 2025
APPLICATION:	Architecture and Site Plan Review Application No. 08-2025 (Dept. File No. 25-0031) – Watermill Express Request to remove and replace the existing water filtration station.	
OWNER:	Tim and Mary Gong	
APPLICANT:	Watermill Express	
REPRESENTATIVE:	Brandon Arebalos	
LOCATION/APN:	3239 Sierra Street, between 2 nd and 3 rd Street	
ASSESSOR'S PARCEL:	132-011-048	
GENERAL PLAN:	Mixed Use (MU)	
ZONING:	Downtown Specific Plan (DTSP), Mixed Use Neighborhood	
ENVIRONMENTAL DETERMINATION:	CEQA Exempt – 15302 Replacement or Reconstruction	
PROJECT PLANNER:	Teresa McDonald, Senior Planner	
RECOMMENDATION:	Make the required findings for project approval and adopt Resolution No. 2025-xxx approving Architecture and Site Plan Review Application No. 08-2025 based on the discussion below and on the whole of the record provided to the City.	

EXECUTIVE SUMMARY

Watermill Express currently operates a water vending kiosk and is requesting to replace the existing kiosk with a new pre-cast concrete kiosk. In addition to water, the new kiosk will also have the ability to dispense ice (see Exhibit A of Attachment 1). An architecture and site plan review is required for the replacement in accordance with the Downtown Specific Plan (DTSP).

SITE DESCRIPTION

The project site is located at 3239 Sierra Street, between 2nd and 3rd Street. It is improved with a water vending kiosk and paved parking lot. The site has access to Sierra Street via an existing driveway and to both Stanislaus and 2nd Street via existing alleys adjacent to the project site. The site is surrounded by a mixture of residential and commercial uses in all directions.

ISSUES

No issues have been identified as part of this request. Standard conditions of approval have been applied to the project (see Exhibit B of Attachment 1).

GENERAL PLAN CONSISTENCY

The project site is designated as Mixed Use (MU) in City of Riverbank General Plan. The MU designation accommodates neighborhood-scale retail uses, offices, personal and commercial services and other similar uses. This MU designation is the primary category for Riverbank to accommodate neighborhood-serving retail, services, offices, and similar needs as described and planned for in the City's 2005-2025 General Plan. The MU land use classification is anticipated to be mainly non-residential development according to the City's General Plan.

Goal LAND-4, Policy LAND-3.5 of the Land Use Element is to encourage the development and redevelopment of downtown as a mixed-use high-activity area, and Policy LAND-4.3 is to encourage and assist small, locally-owned businesses that wish to locate, expand, or continue to do business in Riverbank. Accordingly, staff believe the proposed use can be found to be consistent with the General Plan.

ZONING ORDINANCY CONSISTENCY

The project site is located within the City's Downtown Specific Plan (DTSP) area and is zoned Mixed Use Neighborhood. As outlined in the DTSP, the Mixed-Use Neighborhood zoning district encourages new investment to create an urban neighborhood in the DTSP. The district allows for General Commercial uses, as well as Residential, Workplace, Lodging, and Civic and Culture uses, and Light Industrial uses with a use permit. The DTSP requires a site plan review as established by the RMC for buildings and related facilities.

In order to approve an architecture and site plan review, the Planning Commission shall make the following findings:

1. The proposed project is consistent with the objectives of the general plan, complies with applicable zoning regulations, planned development, master plan or specific plan provisions, improvement standards, and other applicable standards and regulations adopted by the city;
2. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation;
3. The site layout (orientation and placement of buildings and parking areas), as well as the landscaping, lighting, and other development features, is compatible with

and compliments the existing surrounding environment and ultimate character of the area under the general plan; and

4. The proposed architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting, and similar elements, establishes a clear design concept and is compatible with the character of the buildings on adjoining and nearby properties.

Staff believe the required findings can be met and the project can be found to be consistent with the Downtown Specific Plan.

ENVIRONMENTAL DETERMINATION

The project will have minimal impact upon the environment and meets all applicable criteria to qualify as categorically exempt from further review under the California Environmental Quality Act (CEQA). The proposed Project meets the criteria of Article 19, Categorical Exemption 15302, Replacement or Reconstruction. The project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designation and regulations.

CONDITIONS OF APPROVAL

To ensure compatibility with the surrounding neighborhood and to support the DTSP's goal of preserving a small-town character, the project shall be subject to all Conditions of Approval outlined in Exhibit B of Attachment 1.

PUBLIC NOTICE

The Planning Commission public hearing notice was published in the Riverbank News on October 8, 2025, and posted at City Hall North and South on October 9, 2025. In addition, the applicant posted a Notice of Development Permit Application at the project site on October 11, 2025. Notice of the Public Hearing was mailed to landowners within 300-feet of the project site, as shown on the latest equalized assessment roll, in accordance with RMC § 153.215 and Cal. Gov't Code § 65091. At the time of writing this Staff Report, the City has not received any correspondence from surrounding landowners.

RECOMMENDATION

Staff recommends the Planning Commission approve the project, adopting Resolution No. 2025-xxx approving Architecture and Site Plan Review Application No. 08-2025, based on the discussion below and on the whole of the record provided to the City. If the Planning Commission approves the project, the aforementioned Resolution provides an overview of the findings and actions required for project approval.

ATTACHMENTS

1. Planning Commission Resolution No. 2025-xxx for Architecture and Site Plan Review
Application No. 08-2025
Exhibit A – Plans
Exhibit B – Conditions of Approval

Respectfully Submitted By: Teresa McDonald, Senior Planner

**City of Riverbank
Planning Commission
Resolution No. 2025-015**

A Resolution of the Planning Commission Approving Architecture and Site Plan Review Application No. 08-2025 (Dept. File No. 25-0031) for the Watermill Express Located at 3239 Sierra Street, APN: 132-011-048

Whereas, an Architecture and Site Plan Review application has been received from Watermill Express, located at 3239 Sierra Street (APN: 132-011-048); and

Whereas, the property has a General Plan Land Use designation of Mixed Use (MU) and is zoned Mixed Use Neighborhood within the Downtown Specific Plan (DTSP); and

Whereas, any proposed construction or reconstruction of buildings and related facilities within the DTSP area requires site plan review as established by Riverbank Municipal Code; and

Whereas, Section 153.217 of the Riverbank Municipal Code requires an architecture and site plan review application be approved by the Planning Commission at a public hearing; and

Whereas, the Planning Commission held a public hearing on October 21, 2025, to consider Architecture and Site Plan Review No. 08-2025 and take public comment; and

Whereas, the project is exempt from analysis pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15302, Replacement or Reconstruction; and

Whereas, the Planning Commission made the following required architecture and site plan review findings:

1. The proposed project is consistent with the objectives of the general plan, complies with applicable zoning regulations, planned development, master plan or specific plan provisions, improvement standards, and other applicable standards and regulations adopted by the city;
2. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation;
3. The site layout (orientation and placement of buildings and parking areas), as well as the landscaping, lighting, and other development features, is compatible with and complements the existing surrounding environment and ultimate character of the area under the general plan; and
4. The proposed architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting, and similar elements,

establishes a clear design concept and is compatible with the character of the buildings on adjoining and nearby properties.

Therefore, Be It Resolved by the Planning Commission that Architecture and Site Plan Review Application No. 08-2025 is hereby approved, as illustrated in “**Exhibit A**” and subject to the Conditions of Approval listed in “**Exhibit B**”.

Passed and adopted by the Planning Commission of the City of Riverbank at a meeting held on the 21st day of October, 2025; motioned by Commissioner _____, seconded by Commissioner _____, and upon roll call was carried by the following vote of ____ - ____:

AYES: Commissioners:

NOES:

ABSENT:

ABSTAIN:

Attest:

Approved:

Joshua E. Mann,
Community Development Director

Taide Zamora, Chairperson
Planning Commission

Exhibit A – Plans

Exhibit B – Conditions of Approval

Contractor shall comply with the 2022 CGBSC, Chapter 5, sections 5.106.2 for Best Management Practices to prevent storm water pollution during construction.

Deferred Submittals:

All required construction documents and specifications necessary for permit issuance are included in this plan set unless otherwise noted. If any deferred submittals are required, they shall be submitted to the Building Division for review and approval prior to fabrication and installation, in accordance with CBC Section 107.3.4.1. Additional plan review fees may apply. Deferred items may include, but are not limited to: signage, equipment anchorage, prefabricated elements, or other components determined during construction.

Quality Assurance Statement

There are no post-installed anchors or embedded anchors in the foundation pad that will be constructed on site. Such items in the precast parts of the kiosk are inspected at the factory.

The unit is set on a flat concrete pad with a nesting bed of epoxy to bond the manufactured unit to the concrete base. This provides a safeguard against insect invasion and storm water intrusion. The structural engineer inspects this epoxy installation by their specified process. Watermill Express company standard for this is high, and the engineer's recording of its mix and application is sufficient.

The foundation reinforcing and the concrete need no "Special" inspection per CBC 1705.3 exception 1. All other work is inspected at the factory.

Because of this, there is no remaining item to be inspected by a third party, and there should be no requirement to hire a Quality Assurance Agency.

SCOPE OF WORK

106 sf 1 story pre-cast concrete kiosk

Work includes removal of existing Watermill modular water vending unit, and installing a replacement water vending unit in the same area on the same parcel and parking lot.

The existing Electrical Power supply line will be removed and Reinstalled per this package and connected to the existing (same) meter mounted on the new kiosk.

The existing water supply line will be extended and relocated to connect with the new unit. The existing gravity drain line will be extended to connect to the new units floor sinks.

The old vending unit will be removed. Its base slab will be restored for the new concrete base slab.



Watermill Express #169018 Pre-Cast Concrete Kiosk @

3239 Sierra St
Riverbank, CA 95367
Project # WE 25-149

Issued for Permit
July 1, 2025

Pre-manufactured Building

The Pre-manufactured Building Association states that plan checking should not be occurring for anything in or on the modular unit as all this information has been provided to the state and approved at the state level as a manufactured unit by this division. The site installations of the pad/foundation, bollards, and utility connection points are the only construction that is re-viewable and inspected at the local level.

SIGNAGE REQUIRES A SEPARATE REVIEW / PERMIT.



Watermill Express #169018
Pre-Cast Concrete Kiosk @
3239 Sierra St

Riverbank, CA 95367

July 1, 2025

Project# WE 25-149
Issued for Permit

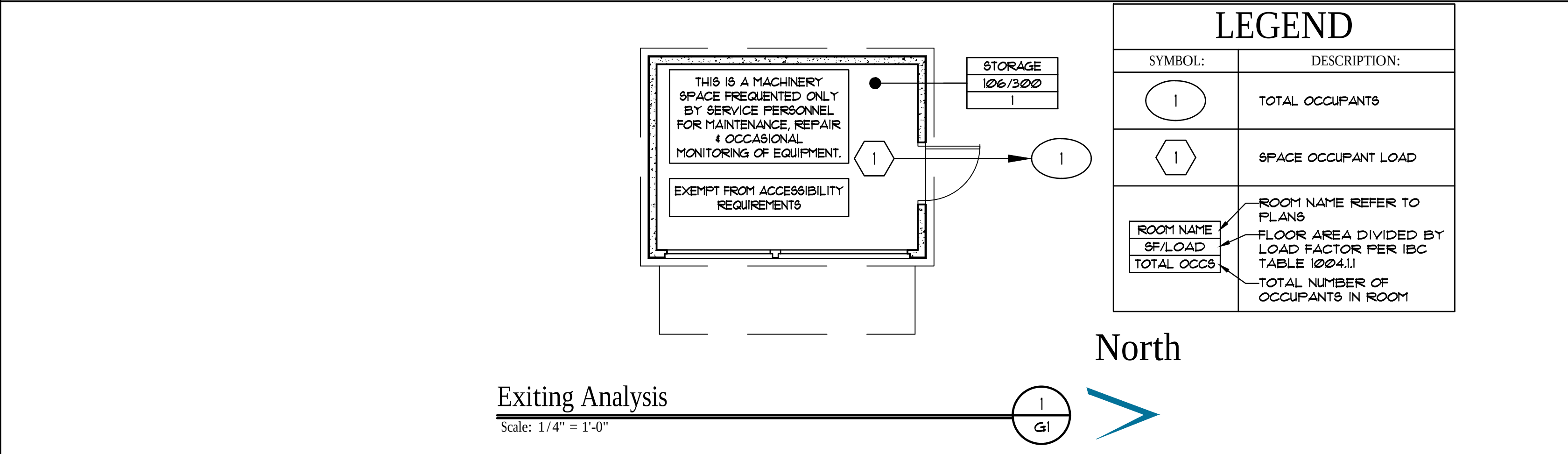


(702) 776-7774
9480 S. EASTERN, AVE. SUITE #240
LAS VEGAS, NEVADA 89123

Code Analysis

ZONING: M-1 Light Industrial JURISDICTION HAVING AUTHORITY : STATE OF CALIFORNIA & City of Riverbank, Stanislaus County CODE EDITION: Amendments to the Adopted Codes in Municipality - Applicable City Ordinances, Local and State Laws and Regulations: 2022 California Building Standards Code Amendments - Know as: California Code of Regulations - Title 24 Part 2 Part 1 - California Administration Code (CAC) Part 2 - California Building Code (CBC) Part 3 - California Electric Code (CEC) Part 4 - California Mechanical Code (CMC) Part 5 - California Plumbing Code (CPC) Part 6 - California Energy Code (CEEC) Part 7 - Currently Vacant Part 8 - California Historical Building Code (CHBC) Part 9 - California Fire Code (CFC) Part 10 - California Existing Building Code (CEBC) Part 11 - California Green Building Standards Code (CGBSC) Part 12 - California Reference Standards Code (CRSC)	WATER VENDING KIOSK OCCUPANCY S-2 (LOW HAZARD STORAGE) TYPE OF CONSTRUCTION V-B ALLOWABLE FLOOR AREA 13,500 SF GROSS (per table 503) FLOOR AREA (ACTUAL) 109 SF GROSS HEIGHT (ALLOWABLE) 40'-0" HEIGHT (ACTUAL) +/-14'-4 1/2" NO. OF STORYS (ALLOWABLE) 2 STORY NO. OF STORYS (ACTUAL) 1 STORY FIRE SPRINKLERS NO (UNDER 5,000 SF.) Manual Alarm not required in unoccupied building ref B Occupancy (907.2.2 no occupants) OCCUPANT LOAD NO LOAD - WATER VENDING KIOSK TOTAL OCCUPANTS 1 REQUIRED EXITS 1 EXITS PROVIDED 1 SPACES REQUIRING FIRE SEPERATION NON REQUIRED (PER TABLE 508.4) REQUIRED FIRE RESISTANCE FOR BLDG. ELEMENTS PRIMARY STRUCTURAL FRAME: TYPE V-B (0 HOURS REQUIRED) PER TABLE 601 EXTERIOR BEARING WALLS: TYPE V-B (0 HOURS REQUIRED) PER TABLE 601 INTERIOR BEARING WALLS: TYPE V-B (0 HOURS REQUIRED) PER TABLE 601	EXTERIOR NONBEARING WALLS: DISTANCE TO PROPERTY LINE (ACTUAL) GREATER THAN 30'-0" TYPE V-B (0 HOURS REQUIRED) PER TABLE 602 INTERIOR NONBEARING WALLS: TYPE V-B (0 HOURS REQUIRED) PER TABLE 601 FLOOR CONSTRUCTION & SECONDARY MEMBERS: TYPE V-B (0 HOURS REQUIRED) PER TABLE 601 ROOF CONSTRUCTION & SECONDARY MEMBERS: TYPE V-B (0 HOURS REQUIRED) PER TABLE 601 ROOF CLASS REQUIRED (C) PROVIDED (C OR BETTER) REQUIRED PLUMBING FIXTURES (TABLE 2902.1) NONE REQUIRED - NO OCCUPANTS NO SPECIAL INSPECTIONS REQUIRED IECC COMPLIANCE NOT REQUIRED FOR MANUFACTURE UNIT
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Exiting Analysis



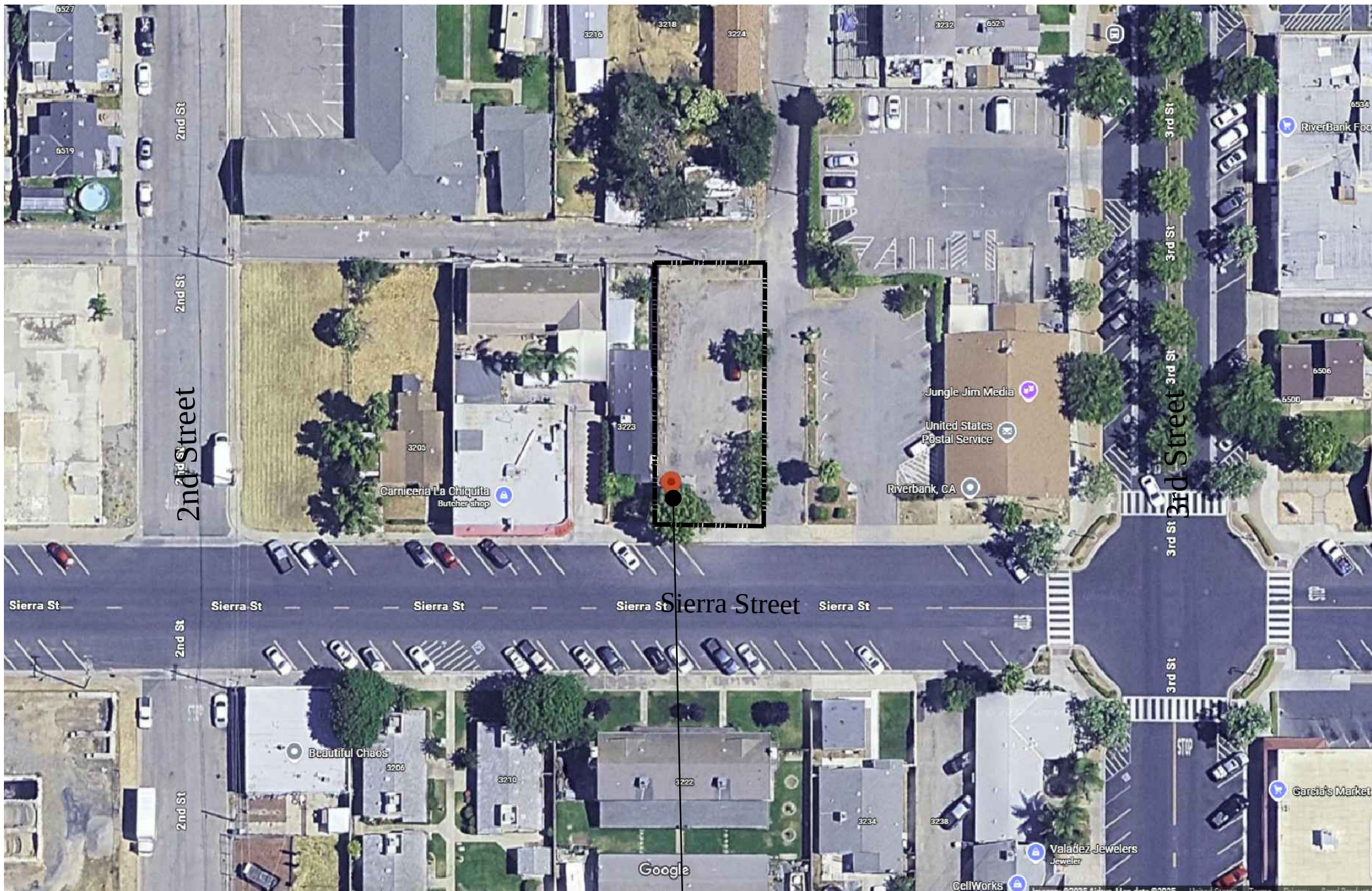
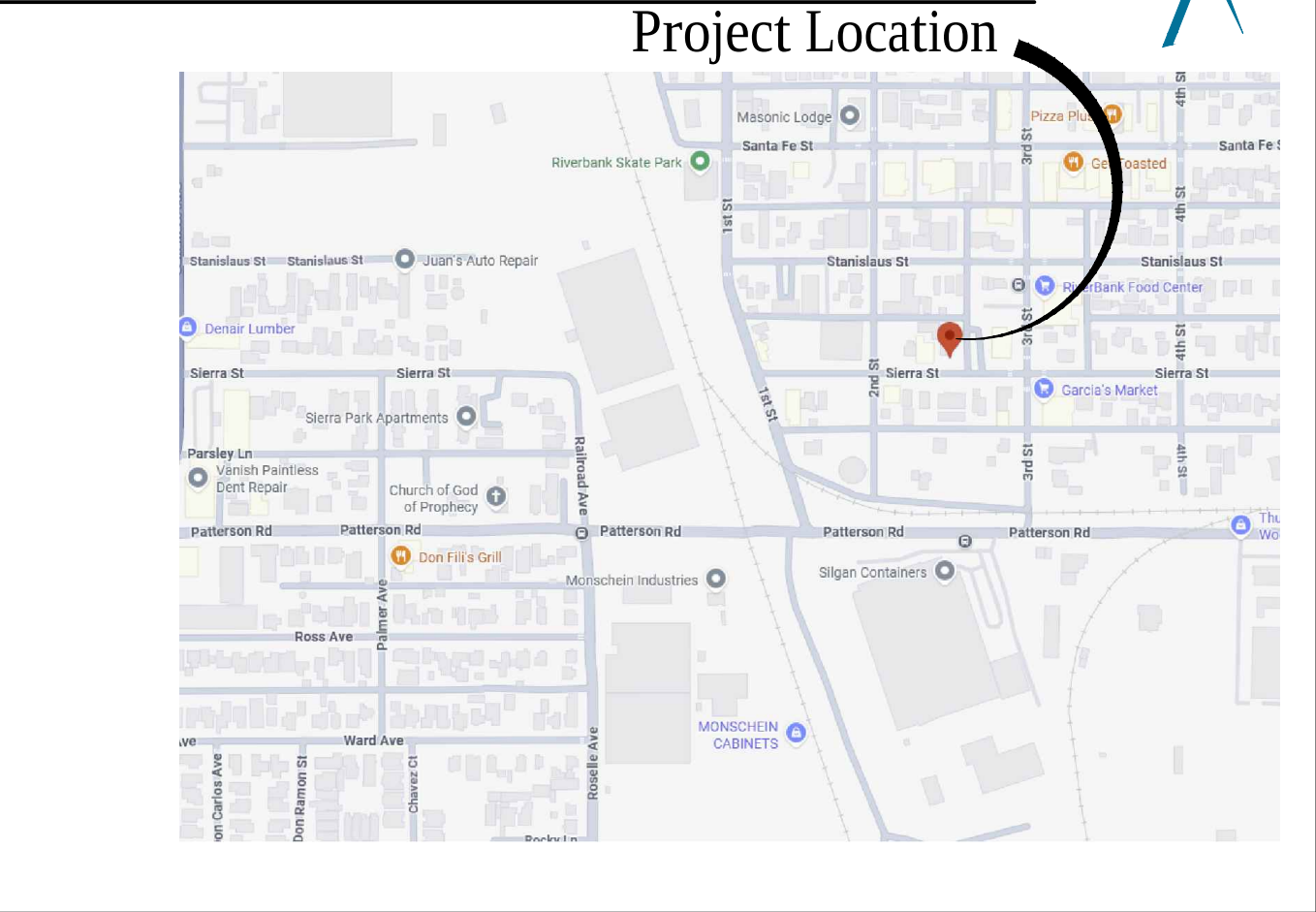
Project Directory

CLIENT WATERMILL EXPRESS 1177 S 4th AVE. - BRIGHTON, CO 80601 (TEL) (813) 716-7791 (EMAIL) julie.combs@watermillexpress.com JULIE COMBS PERMITTING MANAGER (TEL) (704) 929-1969 (EMAIL) shane.graybill@watermillexpress.com SHANE GRAYBILL OWNER REPRESENTATIVE CARLA M. HANSEN ENGINEER	ARCHITECT AVARUUS STUDIOS 9480 S. EASTERN AVE. - SUITE 240 LAS VEGAS, NEVADA 89123 (TEL) (702) 776-7774 (E-MAIL) sm@asilv.com STEVE MAAHS PRINCIPAL-IN-CHARGE CONTRACTOR T.B.D. MPE CONSULTANT ROOT ENGINEERING 45 FM3356 VAN ALSTYNE, TX 75495 (TEL) (903) 375-9303 (E-MAIL) sarah@rootmep.com SARAH VALENCIA ENGINEER
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Index of Sheets

SHEET	DESCRIPTION
COVER	ARCHITECTURAL COVER SHEET & SCOPE OF WORK
G1	ARCHITECTURAL SITE PLAN & PROJECT INFORMATION
G2	GENERAL NOTES, ABBR. & CONST. DOC. SYMBOL
A1	OVERALL SITE PLAN
A2	ENLARGED SITE & DEMOLITION SITE PLANS
A3	FLOOR & ROOF PLANS & DETAILS
A4	EXTERIOR ELEVATIONS
COVER	STRUCTURAL COVER
S0	NOTES & REVISIONS
S1	FOUNDATION PLAN & DETAILS
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S3	TOP UNIT PAN & WALL ELEVATION (PRE-ENGINEERED)
S4	AWNING DETAILS (PRE-ENGINEERED)
MEP1	MECHANICAL / PLUMBING / ELECTRICAL PLUMBING PLANS AND RISERS
MEP2	PLUMBING SCHEDULES NOTES AND DETAILS
MEP3	ELECTRIC PLANS, SCHEDULES NOTES AND DETAILS

Vicinity Map



New Kiosk. Refer to enlarged Site Plan for more info.

Site Plan

Scale: Not to Scale

North

North



New Kiosk. Refer to enlarged Site Plan for more info.

Assessors Parcel Map - 132-011-048

Scale: Not to Scale

3
G1

2
G1

PROJECT NAME:
Watermill Express #169018
3239 Sierra St.
Riverbank, CA 95367

SHEET TITLE:
Project Directory, Index of sheets
& Code Analysis

SEAL:

CONSULTANT:

REVISIONS:

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Drawn By:
JR

Date: July 1,, 2025

Scale: As Noted

Sheet No:
G1

Project No.: WE-25-149

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Erosion & Sediment Control Notes

- Landowners and/or Contractors are responsible for obtaining a permit for Stormwater Discharges per Municipality requirements.
- Landowners and/or Contractors are responsible for obtaining Erosion & Sediment Control (ESC) per Municipality requirements.
- Landowners and/or Contractors are responsible for scheduling a pre-construction meeting with the Municipality controlling authority.
- The permitted Landowner and/or Contractor must keep a copy of all Stormwater Discharge Permit per Municipality requirements, City's ESC Permit, Erosion and Sediment Control plan (ESCP) also known as Stormwater. Management Plan (SWMP) and Erosion and Sediment Control Inspection List (ESCIL) or Inspection Log. Available on-site throughout the duration of the project, and for an additional three (3) years after the permit inactivation form is filed with the State as required.
- The permitted Landowner and/or Contractor may inactivate the State and City permit when final per Municipality requirements.
- The permitted landowner and/or contractor must perform inspections of all best management per Municipality requirements.
- All construction projects (whether they disturb less or more than 1 (one) acre) shall install, maintain and repair erosion and sediment control BMPs according to the ESCP/SWMP and/or Erosion Control Plan (Civil drawing) to ensure they continue performing as originally intended. BMPs must be installed prior to grading or land disturbing activities per Municipality requirements.
- All BMPs shall conform per Municipality requirements.
- Landowners and/or Contractors must ensure that vehicles do not track earth materials onto streets and must immediately remove such materials if this occurs. Either sweeping by hand or the use of street sweepers is acceptable. flushing off paved surfaces with water is prohibited.
- All loads of cut and fill material imported to or exported from the site shall be properly covered to prevent loss of the material during transportation on public row.
- The use of dirt ramps is prohibited. a rock pad entrance must be installed where construction vehicles need to enter or exit from an unpaved area into a paved road.
- Landowners and/or Contractors are responsible for controlling waste such as discarding building materials, concrete truck washout, chemicals, litter and sanitary waste, as applicable.
- Waste collection areas must be located away from the storm drainage system. Dumpsters must be covered to contain windblown materials.
- The discharge of any water contaminated by waste products from cutting operations to the storm sewer system is prohibited. All storm sewer facilities adjacent to any location where pavement cutting operations occur must be protected per Municipality requirements.
- Water use to clean concrete trucks shall be discharged into a concrete washout area (CWA). The predefined containment area must be identified with a sign, and shall allow the liquids to evaporate or dry out. Dried out concrete waste shall be removed and properly disposed of per Municipality requirements.
- The discharge of sanitary waste into the storm sewer system is prohibited. Portable toilets must be provided and placed on permeable surfaces, away from the curbside, storm inlets and/or drainage ways per Municipality requirements.
- Spill prevention and containment bmp's for construction materials, waste and fuel storage areas must be provided. spills that may reach the storm sewer system must be reported according to federal, state and municipality regulations.
- Storm inlets within and/or adjacent to the construction site must be protected. Any ponding of stormwater around inlet protection must not cause excessive inconvenience or damage to adjacent areas or structures per Municipality requirements.
- Runoff from stockpile area must be controlled. Soils that will be stockpiled for more than 30 days shall be protected from wind and water erosion within 14 days of stockpile construction per Municipality requirements.
- Natural vegetation shall be preserved and protected whenever possible. Removal or disturbance of existing vegetation shall be limited to the area required for immediate construction operations. Disturbed areas that may not be at final grade but will remain dormant (Undisturbed) for longer than 30 days must be stabilized within 14 days per Municipality requirements.
- Fugitive dust emissions resulting from grading activities and/or wind shall be controlled per Municipality requirements.
- All temporary BMPs shall be removed after the site has reached final stabilization. the stormwater volume capacity of ponds must be restored, and storm sewer lines and/or drainage infrastructure shall be cleaned upon completion of project per Municipality requirements.
- Conditions in the field may warrant other erosion and sediment control measures in addition to the ones shown on the ESCP/SWMP and/or Erosion Control Plan (Civil drawing). The Landowner or Contractor shall implement whatever measures are determined necessary, as directed by the Municipality controlling authority.

General Notes

GENERAL NOTES AND INSTRUCTIONS

- Definitions:
 - Architect/Engineer: The entity who responsible for design and whose name appears on the Contract Doc's.
 - Definitions are defined in the AIA A 205 - 1993 General Conditions and as supplemented in the Contract Documents.
- The drawings and specifications are prepared to show the design intent for the construction of the project. The Architect's interpretation of the Contract Documents is final.
 - In the event of a conflict between drawings or drawings and specifications, submit a written request for information or clarification prior to construction of the work. The Architect's written response is final.
 - Deviations are not permitted from the drawings or specifications without prior written approval from the Architect.
- Although every effort is made, absolute accuracy of data indicated on the drawings or specifications is not warranted. The contract documents may inadvertently represent incorrect data or may contain errors, omissions, inconsistencies, code violations, and improper use of materials. Upon written notification or identification, incorrect data, errors, inconsistencies, code violations, and improper use of materials will be corrected.
 - Under the provisions of the General Conditions, carefully study and compare the drawings and specifications. Immediately report in writing discrepancies, inconsistencies, errors, omissions, code violations, and improper use of materials to Architect.
 - Require each subcontractor to carefully study and compare the drawings and specifications and report in writing any discrepancies, inconsistencies, errors, omissions, code violations, and improper use of materials to the Contractor.
 - Resolve each reported discrepancy, inconsistency, error, omission, code violation, and improper use of materials prior to commencement of the work.
 - Work performed prior to receipt of instructions or clarifications from the Architect is performed at the Contractor's or its subcontractor's own risk.
 - Upon discovery of a discrepancy in the drawings or specifications, estimate the more expensive materials and labor, unless a clarification or additional defining information has been requested of the Architect.
- Dimension Format:
 - Use only written dimensions for contraction.
 - Dimensions for stud partitions are to face of stud unless otherwise noted.
 - Dimensions are to rough construction unless otherwise noted.

GENERAL REQUIREMENTS OF THE CONTRACTOR

- Supervise and direct the work, be responsible for means, methods, techniques, sequences, and procedures. Coordinate work indicated in the Contract Documents. Provide adequate number of skilled workmen who are thoroughly trained and experienced in their trades, and who are familiar with specified and reasonably implied requirements necessary for the proper performance of the work.
- Perform work shown or noted on the drawings in strict compliance with, or exceeding, local, state, and federal minimum standards of authorities having jurisdiction. Comply with the State Building Code, International Building Code, Uniform Mechanical Code, Uniform Plumbing Code, and National Electrical Code, applicable edition, as adopted by the Municipality.
- Be familiar with the drawings and specifications of various building systems. Information shown on one document may represent information relative to other documents.
- Become familiar with existing job site and construction conditions and accept conditions as they exist.
- Investigate, verify, and be responsible for conditions at the site. Immediately notify Architect of conditions conflicting with the Contract Documents prior to proceeding with the work.
- Field verify dimensions and notify the Architect of errors, omissions, or discrepancies prior to commencement of the work.
- Be responsible for accuracy of the building lines and levels and careful comparison of the lines and levels shown on the drawings with existing site conditions. Immediately notify Architect of discrepancies prior to commencement of the work.
- Request a clarification from the Architect if uncertain of requirements of the drawings and specifications. Be responsible to correct conditions constructed in error at Contractor's expense. Be responsible for expense and repair of resulting damage or defects to the work or property of others caused by Contractor or subcontractor error.
- Obtain permits and pay related costs and fees unless otherwise indicated in the Contract Documents.
- Do not perform any portion of the work requiring submittal of a shop drawing, sample, or product data until submittal has been reviewed by the Architect. The author or responsible party for each submittal is required to ensure the accuracy of the data and for its compliance with the design intent and specifications of the contract documents. Refer to Specification Section 01330. Each submittal shall bear the Contractor's review stamp and reviewer's signature.
- Confine operations at the site to the areas limited by law, ordinances, permits, and the Contract Documents. Do not encumber the site with materials or equipment.
- Maintain the site in clean, orderly condition, free of debris and litter. Remove trash and debris on a daily basis. Refer to Specification Section 01500.
- Store and protect materials kept on the site to prevent damage and deterioration in accordance with the requirements of the related specification section. Failure to protect materials and equipment may cause for rejection of the work. Use of materials damaged due to improper handling, storage, or protections is prohibited.
- Perform cutting and patching as required to join the work. Do not unnecessarily endanger the work or adjacent work by cutting. Refer to Specification Section 01700.
 - Perform cutting, patching, repair, or replacement of materials, surface, and equipment damaged in the execution of the work with appropriate and like materials. Restore surfaces to original or required fire ratings. Upon completion, surrounding surfaces shall blend and match.
- Provide protection for the site and to the work. Protect adjacent properties from damage due to the work. Erect and maintain protections to prevent the public, animals, and others from gaining access to the site as required by governing authorities. Refer to Specification Section 01500.
- Provide drinking water and temporary sanitary facilities for construction personnel. Refer to Specification Section 01500.

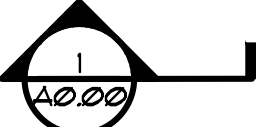
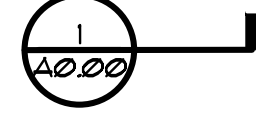
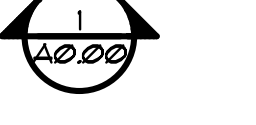
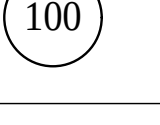
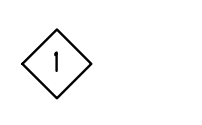
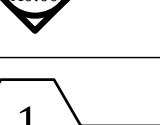
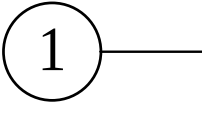
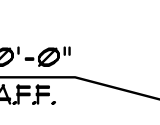
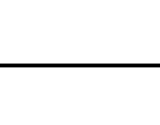
GENERAL REQUIREMENTS OF THE CONTRACTOR CONTINUED

- Use only new materials of grades and types specified unless otherwise noted. Warrant work and materials as stated in the General Conditions and as required by State Statute. Provide for a correction period of minimum 1 year from the Date of Substantial Completion as stated in the General Conditions.
- Protect new and existing equipment and construction. Maintain until accepted by Owner. Immediately repair or replace damaged equipment and construction to the satisfaction of the Architect at Contractor's expense. Refer to Specification Section 01500 and individual specification sections.
- Maintain as built drawings and specifications at the site indicating variations from the Contract Documents or unidentified or unknown conditions. Provide record documents at project closeout. Refer to Specification Section 01770.
- Safety programs and precautions for the project are the Contractor's responsibility.
- Schedule the work to minimize disruptions.
- Notify the Architect and Owner minimum 72 hours prior to disruption to existing utility services. Refer to Specification Section 01700.
- Secure the site at the end of each work day.

Abbreviation List

4	And	LAB.	Laboratory
L	Angle	LAM.	Laminate
@	At	LAV.	Lavatory
\$	Centerline		
*	Degree	MAX.	Maximum
+	Diameter or Round	MECH.	Mechanical
(E)	Existing	MET.	Metal
⊥	Perpendicular	MEZZ	Mezzanine
IE	Plate	MFR	Manufacturer
*	Round or Number	M.H.	Manhole
		MIN.	Minimum
ACT	Acoustical Ceiling Tile	MIR	Mirror
AD.	Area Drain	MISC.	Miscellaneous
ADJ.	Adjustable	MUL.	Mullion
AFF.	Above Finish Floor		
AL.	Aluminum	N.	North
ALT.	Alternate	NEC	National Electric Code
AN&I.	American National Standards Institute	NEMA	National Electric Manufacturers Association
ARCH.	Architectural	N.I.C.	Not in Contract
ASHRA.	American Society of Heating Refrigerating & Air Conditioning Engineers	No. or *	Number
		NPC	National Plumbing Code
A.S.T.M.	American Society for Testing & Materials	N.T.S.	Not To Scale
		O.A.	Overall
		O.C.	On Center
B.C.	Bottom of Curb	O.D.	Outside Diameter (Dim.)
BD.	Board	OPP.	Opposite
BITUM.	Bituminous	o/	Over
BLDG.	Building		
BTU	British Thermal Unit	F.J.	Panel Joint
BTUH	B.T.U./Hour	FLAM.	Plastic Laminate
		FLAS.	Plaster
CAB.	Cabinet	PLYWD.	Plywood
CG.	Corner Guard	PNL	Panel
CLG.	Ceiling	PNT	Paint
CLO.	Closet	PR	Pair
CLR.	Clear	PSF	Pounds/Square Foot
CPT.	Carpet	PSI	Pounds/Square Inch
CONC.	Concrete		
CONT.	Continuous	R/RAD.	Radius
CORR	Corridor	REINF.	Reinforced
C.T.	Ceramic Tile	REQ.	Required
DEPT.	Department	REV.	Revision
DET.	Detail	RGTR	Register
DIA.	Diameter	RM.	Room
DIAG.	Diagonal	RO.	Rough Opening
DIM.	Dimension	R/W	Right of Way
DISP.	Dispenser		
DN.	Down	S.	South
DR.	Door	SAN.	Sanitary
D.S.	Downspout	S.C.	Solid Core
D.S.P.	Dry Standpipe	SCHED.	Schedule
DWG.	Drawing	SECT.	Section
		SHR.	Shower
E.	East	SHT.	Sheet
EA.	Each	SIM.	Similar
EL.	Elevation	S.J.	Sawn Joint
ELEC.	Electrical	SPEC.	Specification
ELEV.	Elevator	SPRKL.R	Sprinkler
EMER.	Emergency	SQ.	Square
ENCL.	Enclosure	SST.	Stainless Steel
ENGR.	Engineer	ST.	Storm
E.P.	Electrical Panelboard	STD.	Standard
EQ.	Equal	STL.	Steel
EQPT.	Equipment	STOR.	Storage
EXP.	Expansion	STR.L.	Structural
EXST.	Existing	SUSP.	Suspended
EXT.	Exterior		
		T.	Tread
F.D.	Floor Drain	T.G.	Tongue and Groove
F.E.	Fire Extinguisher	T.C.	Top of Curb
F.E.C.	Fire Extinguisher Cab.	TEL.	Telephone
FF&E	Furnishings, Fixtures & Equip.	TG	Tempered Glass
FIN.	Finish	THK.	Thick
FIXT.	Fixture	T.O.B.	Top of Block
FL.	Floor	T.O.C.	Top of Concrete
F.O.C.	Face of Concrete	T.O.P.	Top of Parapet
F.O.F.	Face of Finish	T.O.S.	Top of Steel
F.O.S.	Face of Studs	T.O.W.	Top of Wall
FFRF.	Fireproof	TRF.	Transformer
FR.	Frame	T.V.	Television
FS.	Finish Surface	T.O.M.	Top of Masonry
F.S.	Floor Sink	TYP.	Typical
FT.	Foot or Feet		
FURR.	Furring	U.B.C.	Uniform Building Code
		UNF.	Unfinished
GA.	Gauge	UN.O.	Unless Noted Otherwise
G.B.	Grab Bar		
G.C.	General Contractor	V.C.T.	Vinyl Composition Tile
GL.	Glass	VERT.	Vertical
GR.	Grade	VEST.	Vestibule
GYP.	Gypsum		
		W.	West
H.B.	Hose Bibb	W/	With
H.C.	Hollow Core	WD.	Wood
HDWD.	Hardwood	W/O	Without
HDWE.	Hardware	WT.	Weight
HGT.	Height		
H.M.	Hollow Metal		
HORIZ.	Horizontal		
HR.	Hour		
H.R.	Hand Rail		
HVAC	Heating, Ventilating, Air Conditioning		
I.D.	Inside Diameter (Dim.)		
IN.	Inch		
INSUL.	Insulation		
INT.	Interior		
INV.	Invert		
JAN.	Janitor		
JT.	Joint		
KIT.	Kitchen		

Construction Doc's Symbol

CONSTRUCTION DOCUMENTS SYMBOL	LOCATION	USE
 SECTION NUMBER SHEET NUMBER	PLANS & ELEVATIONS	FULL BUILDING SECTION
 DETAIL LETTER SHEET NUMBER	PLANS & SECTIONS	WALL SECTIONS
 ELEVATION LETTER SHEET NUMBER	PLANS	EXTERIOR ELEVATIONS
 DOOR NUMBER HARDWARE SET INTERLOCK NUMBER	PLANS	ALL DOORS
 +100.00' ELEVATION TARGET	AT TOP OF SLAB OR HEIGHT	VERTICAL HEIGHTS
 EXTERIOR WINDOW TYPE INTERIOR WINDOW TYPE	AT EXTERIOR ELEVATIONS & PLANS AT INTERIOR ELEVATIONS & PLANS	EXTERIOR WINDOWS INTERIOR WINDOWS
 HANDICAP ACCESS SYMBOL	PLANS	HANDICAP SPECIFIC AREAS
 CONSTRUCTION NOTE	PLANS & ELEVATIONS	KEYNOTES
 INTERIOR ELEVATION SYMBOL	PLANS	
 EXISTING STRUCTURAL GRID BUBBLE	SECTIONS PLANS & ELEVATIONS	
 STRUCTURAL GRID BUBBLE	SECTIONS PLANS & ELEVATIONS	
 EQUIPMENT NOTE	PLANS & ELEVATIONS	
 REVISION NOTE	SECTIONS PLANS & ELEVATIONS	
 NAME ROOM ROOM NUMBERS	PLANS SECTIONS	
 WALL TYPE	SECTIONS PLANS & ELEVATIONS	
 A 10'-0" AFF. CEILING TYPE	PLANS	



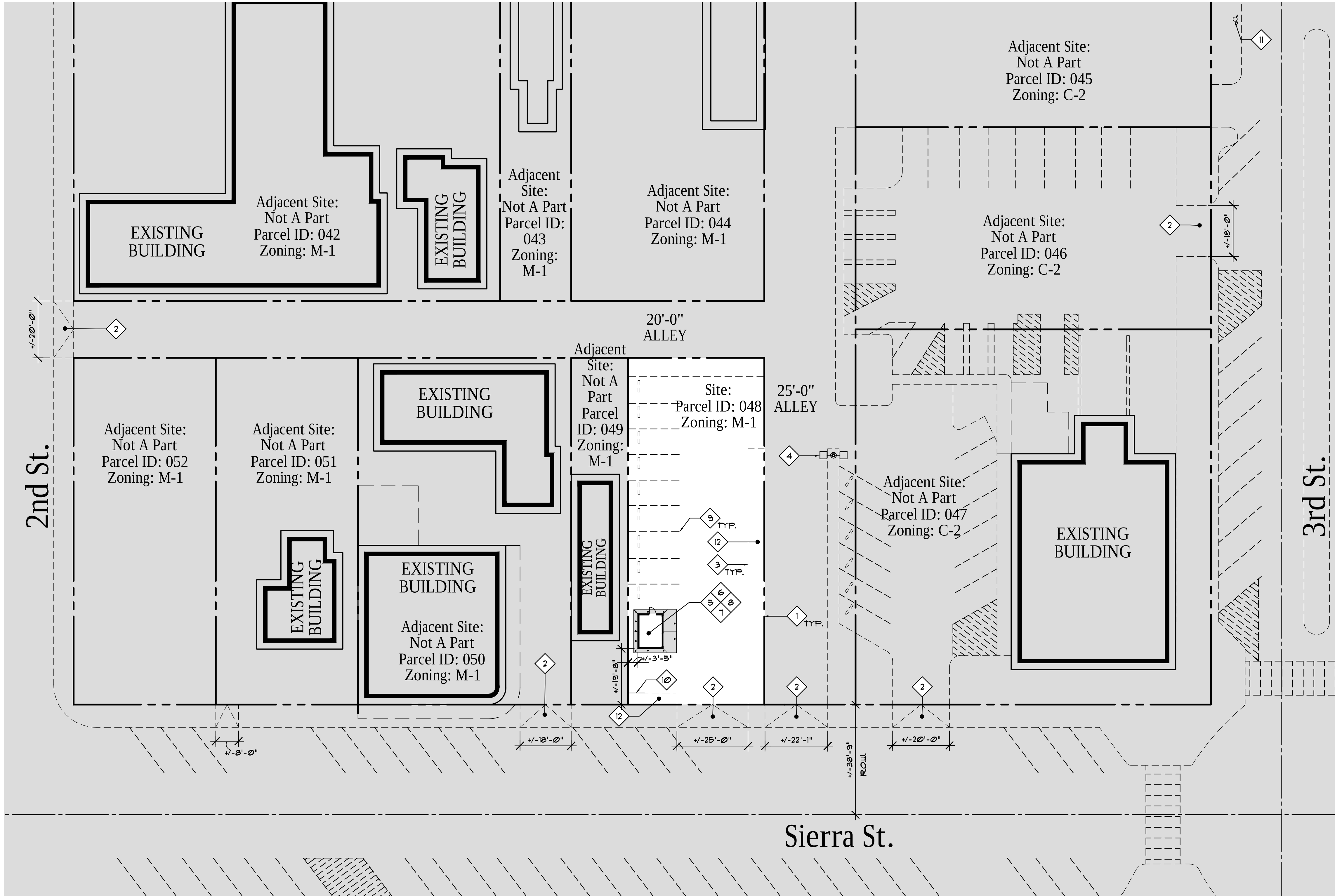
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Watermill Express # 169018
3239 Sierra St.
Riverbank, CA 95367

SHEET TITLE:
General Notes, Abbreviation & Const. Doc's Symbol

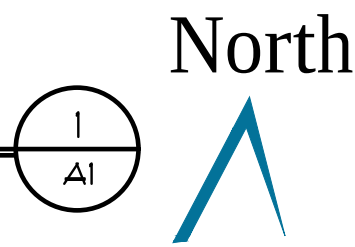
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Drawn By:
AVARUUS
Date: July 1, 2025
Scale: as shown
Sheet No:
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Overall Site Plan
Scale: 1" = 20'-0"



General Notes

- CONTRACTOR TO FIELD VERIFY ALL CONDITIONS AND NOTIFY ARCHITECT AND OWNER IF VARIES.
- ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, MASONRY, OR CONCRETE UNO. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND EXISTING CONTROL DIMENSIONS.
- ANY DISCREPANCY BETWEEN CIVIL, LANDSCAPE, PLUMBING, ELECTRICAL AND ARCHITECTURAL SITE PLANS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- REFER TO M/E/P DRAWINGS FOR NEW AND EXISTING UTILITY LOCATIONS AND ADDITIONAL LINES TO BE INSTALLED.
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL SITE IMPROVEMENTS WITHIN THE LIMIT OF WORK. ANY EXISTING SITE WORK DAMAGED OUTSIDE THE LIMIT OF WORK BY GENERAL CONTRACTOR SHALL BE REPLACED TO MATCH THE ORIGINAL CONDITIONS.
- DEMOLITION WORK: THE CONTRACTOR SHALL REMOVE PORTIONS OF THE EXISTING BUILDING, INCLUDING ELECTRICAL, PLUMBING, CONCRETE FLOOR SLAB AND OTHER ITEMS, ONLY AS REQUIRED TO PERMIT NEW CONSTRUCTION.
- BEFORE COMMENCING THE DEMOLITION WORK, VERIFY WITH THE ARCHITECT AND THE OWNER'S AUTHORIZED REPRESENTATIVE ALL OBJECTS TO BE REMOVED AND ALL OBJECTS TO REMAIN.
- USE ALL MEANS NECESSARY TO PROTECT EXISTING ADJACENT STRUCTURES AND OTHER OBJECTS DESIGNATION TO REMAIN.
- DETERMINE AND COMPLY WITH ALL REQUIREMENTS FOR DISCONNECTION, CAPPING AND PROTECTION OF ALL EXISTING UTILITIES.
- DEBRIS AND EXCESS MATERIALS SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER OFF-SITE OF THE OWNER'S PROPERTY.
- EXISTING DOORS, HARDWARE AND OTHER FIXTURES, EQUIPMENT, ETC. TO BE REMOVED AND RELOCATED OR RETURNED TO BUILDING OWNER. REFER TO FLOOR PLAN AND COORDINATE WITH OWNER.
- ALL EXISTING WORK DAMAGED DURING CONSTRUCTION TO BE REPAIRED TO "AS NEW" CONDITION - FINISHES SHALL MATCH EXISTING.
- PROPERLY REPAIR DAMAGE TO ADJACENT CONSTRUCTION CAUSED BY SELECTIVE DEMOLITION OPERATIONS. WHERE REPAIRS TO EXISTING SURFACES ARE REQUIRED, PATCH TO PRODUCE SURFACES SUITABLE FOR NEW MATERIALS.
- OWNER WILL OCCUPY PORTIONS OF BUILDING IMMEDIATELY ADJACENT TO SELECTIVE DEMOLITION AREA. CONDUCT SELECTIVE DEMOLITION SO OWNERS OPERATIONS WILL NOT BE DISRUPTED.
- CONTRACTOR TO PROVIDE AN INVENTORY AFTER SELECTIVE DEMOLITION IS COMPLETE. SUBMIT A LIST OF ITEMS THAT HAVE BEEN REMOVED AND SALVAGED.

Keynotes

- EXISTING PROPERTY LINE.
- EXISTING ENTRY DRIVE.
- EXISTING CURB, GUTTER & SIDEWALK.
- EXISTING LIGHT POLE. CONTRACTOR TO PROTECT IN PLACE DURING CONSTRUCTION.
- NEW CONCRETE PAD AREA OF WORK AND FIRE-CAST CONCRETE WATER KIOSK. REFER TO ENLARGED SITE PLANS.
- REFER TO PLUMBING DRAWINGS FOR WATER AND DRAIN CONNECTION BELOW SLAB.
- WATER METER LOCATION, REFER TO PLUMBING DRAWINGS.
- ELECTRICAL METER LOCATION, REFER TO ELECTRICAL DRAWINGS.
- EXISTING PARKING STALLS TO REMAIN.
- NEW CONCRETE CURB. REFER TO ENLARGED PLANS ON A2.
- EXISTING FIRE HYDRANT.
- EXISTING LANDSCAPING TO REMAIN.

Site Data

ASSESSOR'S PARCEL NUMBER (APN)		132-011-048
CURRENT ZONING	M-1	
SITE GROSS	+/- 141 +/- 6,238 SF.	
FIRE CAST CONCRETE KIOSK	106 SF.	
CONCRETE PAD (INCLUDES KIOSK)	229 SF.	
HEIGHT (ACTUAL)	+/- 14'-5"	
PARKING REQUIRED:	(SF/200)	
(M-1) LIGHT INDUSTRIAL:	(9F/200)	
WATERMILL:	(106 SF.)	
TOTAL SF:	(106 SF.)	
M-1 - (106 SF/200=)	1 SPACES	
PARKING REQUIRED:	1 SPACES	
PARKING PROVIDED:	9 SPACES	
PARKING:	REMOVED TWO (2) PARKING STALLS	



PROJECT NAME:
Watermill Express # 169018
3239 Sierra St.
Riverbank, CA 95367

REVISIONS:
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*
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Drawn By:
JR
Date: July 1, 2025
Scale: As Noted
Sheet No:
A1

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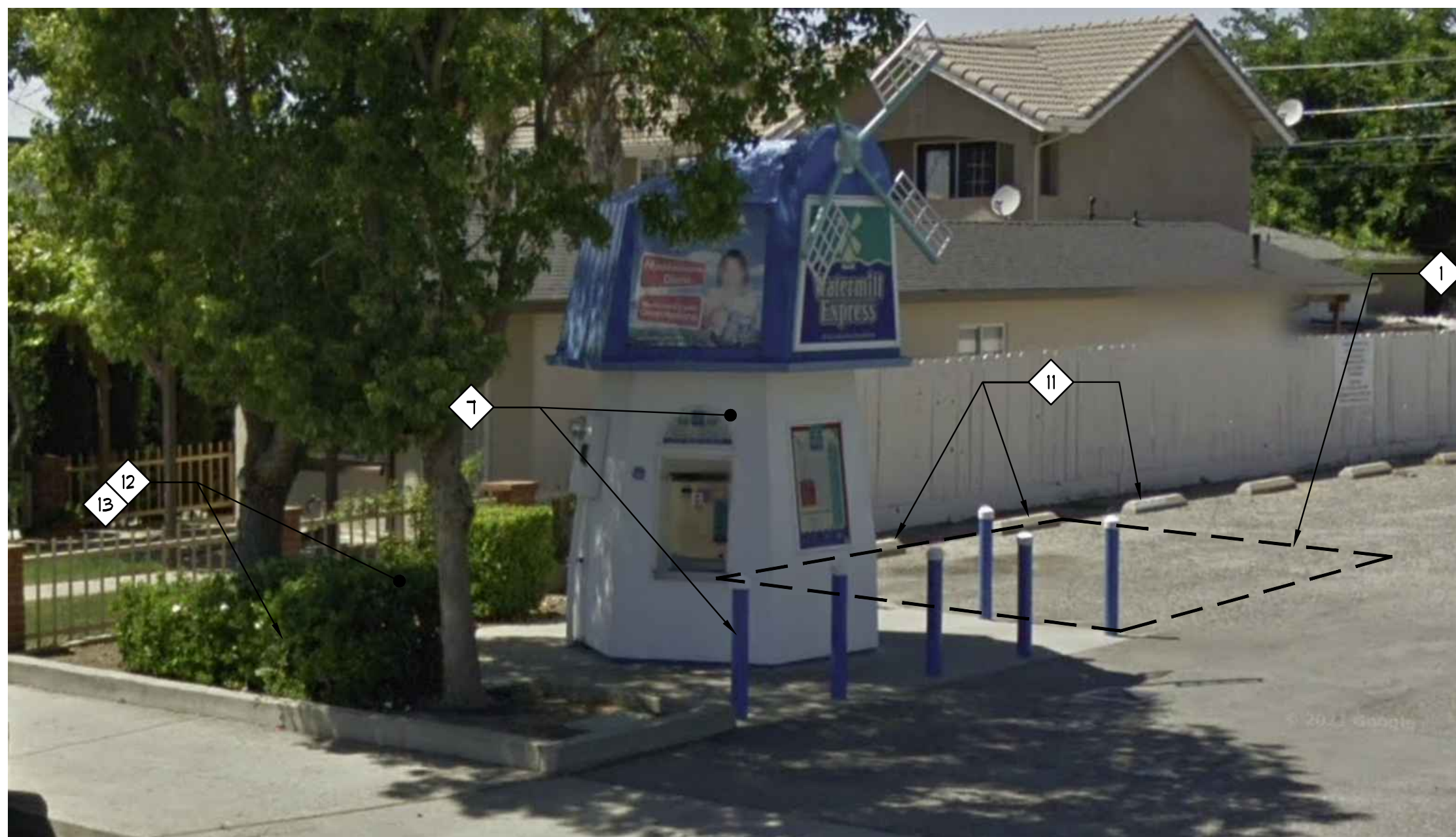
WHERE PROVIDED ALONG DESIGNATED ACCESSIBLE ROUTES, ENSURE WALKWAYS HAVE MAX. 1:20 RUNNING SLOPES, UNLESS INTENDED TO BE A COMPLIANT RAMP. WHERE THERE ARE RAMPS, ENSURE RAMP SLOPES DO NOT EXCEED 1:12 MAX., AND PROVIDE A LEVEL LANDING AT THE TOP & BOTTOM OF RAMP. HANDRAILS ARE REQUIRED ON BOTH SIDES IF RAMP RUNS HAVE A RISE GREATER THAN 6". MAX. SLOPE AT LESS THAN 1:20 & 1:12 (E.G. 4.5% & 7.5

SIGNAGE REQUIRES A SEPARATE REVIEW.



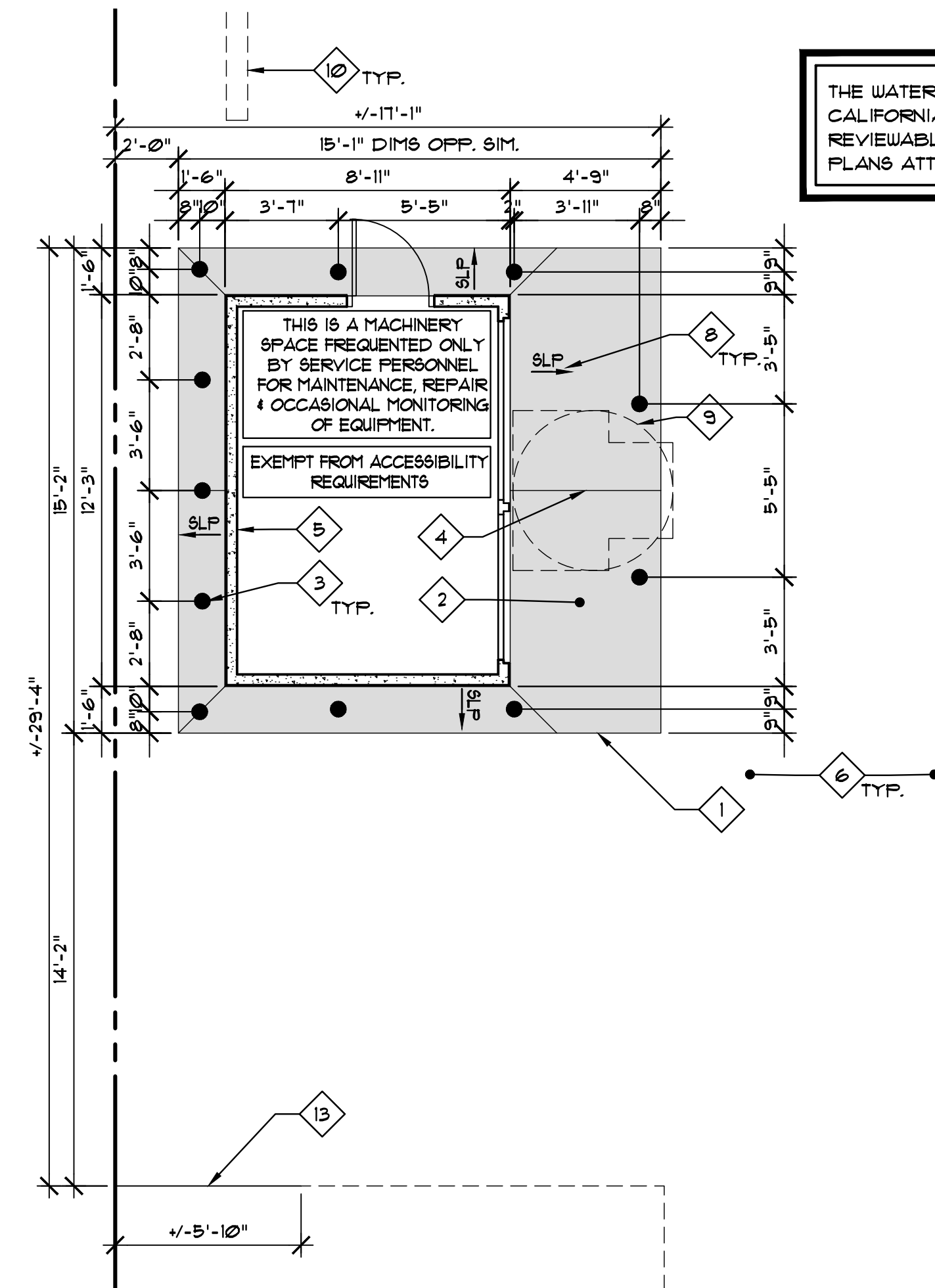
REFER TO ELEVATIONS ON SHEET "A4"
FOR ADDITIONAL INFORMATION.

Scale: Picture Not to Scale



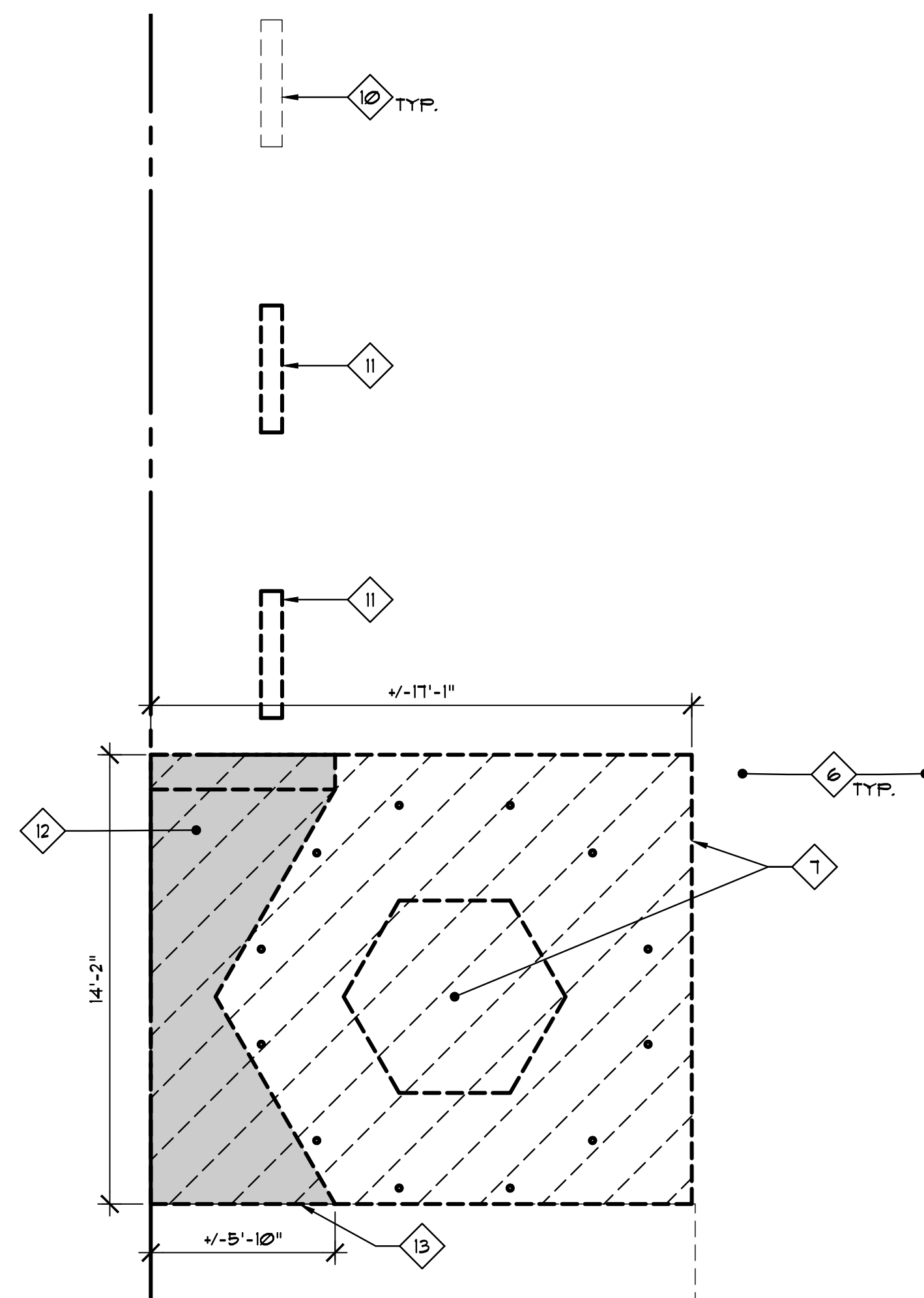
REFER TO ENLARGED DEMO SITE
PLAN FOR ADDITIONAL INFORMATION.

Scale: Picture Not to Scale



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Scale: 1/4" = 1'-0"



Scale: 1/4" = 1'-0"

42

- 1 SAUCUT 4 DEMO EXISTING ASPHALT TO
INSTALL NEW WATER KIOSK PER PLAN.
PATCH AND REPAIR ASPHALT CONCRETE
PAVING TO MATCH EXISTING AND RESTRIPPE
ADJACENT PARKING.
- 2 NEW CONCRETE PAD AREA OF WORK, REFER
TO ENLARGED PLANS.
- 3 NEW PIPE BOLLARD, REFER TO DETAIL 3/A3.
- 4 PLACE CONTROL JOINTS AT FRONT AND
BACK OF FOUNDATION SKIRT AND AT EACH
CORNER ALONG TOP OF SLOPE RIDGE
LINES.
- 5 PRE-CAST CONCRETE WATER KIOSK, REFER
TO ENLARGED FLOOR PLAN.
- 6 EXISTING AC/CONCRETE PAVING TO REMAIN.
- 7 DEMO EXISTING WATER STATION, PIPE
BOLLARDS, CONCRETE PAD AND ALL
FOOTINGS, REGRADE AND RESTORE
ASPHALT/CONCRETE PAVING TO MATCH
EXISTING AND RESTRIPPE ADJACENT
PARKING SITE.
- 8 2% MIN. SITE DRAINAGE (MUST LEAD AWAY
FROM BUILDING AND TOWARDS STREET.
- 9 5'-0" DIA. WHEELCHAIR TURNING CLEARANCE
REQUIREMENT.
- 10 EXISTING PARKING STALLS TO BE
RE-STRIPPED PER NEW WATERMILL KIOSK 4
WHEEL STOP LOCATION
- 11 REMOVE EXISTING WHEEL WITHIN NEW
WATERMILL KIOSK LOCATION, REMAINING
WHEEL STOPS TO BE RECONFIGURED PER
NEW KIOSK LAYOUT.
- 12 DEMO EXISTING PLANTER 4 CURB BEHIND
EXISTING WATERMILL KIOSK 4 PREPARE FOR
NEW CURB.
- 13 NEW CURB TO CLOSE OFF EXISTING
PLANTER, CURB TO BE FIELD ADJUSTED AS
NEEDED FOR MINIMUM CLEARANCE AROUND
EXISTING TREES. PROTECT IN PLACE DURING
CONSTRUCTION.

— — — — — EXISTING SITE

— — — — — DEMO EXISTING SITE

1. THE WATERMILL STRUCTURE IS APPROVED BY THE STATE, WHICH INCLUDES ADA STANDARDS, AND IS NOT RE-VIEWABLE ON THE LOCAL LEVEL. STAMPED, APPROVED PLANS WILL BE ATTACHED FOR REFERENCE.
2. THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL BE PLACED WITH 48" OF THE FLOOR, BUT NOT LOWER THAN 15".
3. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS.

PROJECT NAME:

PROJECT NAME: Watermill Express #169018
3239 Sierra St.
Riverbank, CA 95367

Enlarged Demolition Site Plan

REVISIONS:

*

Drawn By:
JR

Date: July 1, 2025

Scale: As Noted

Sheet No:

A2

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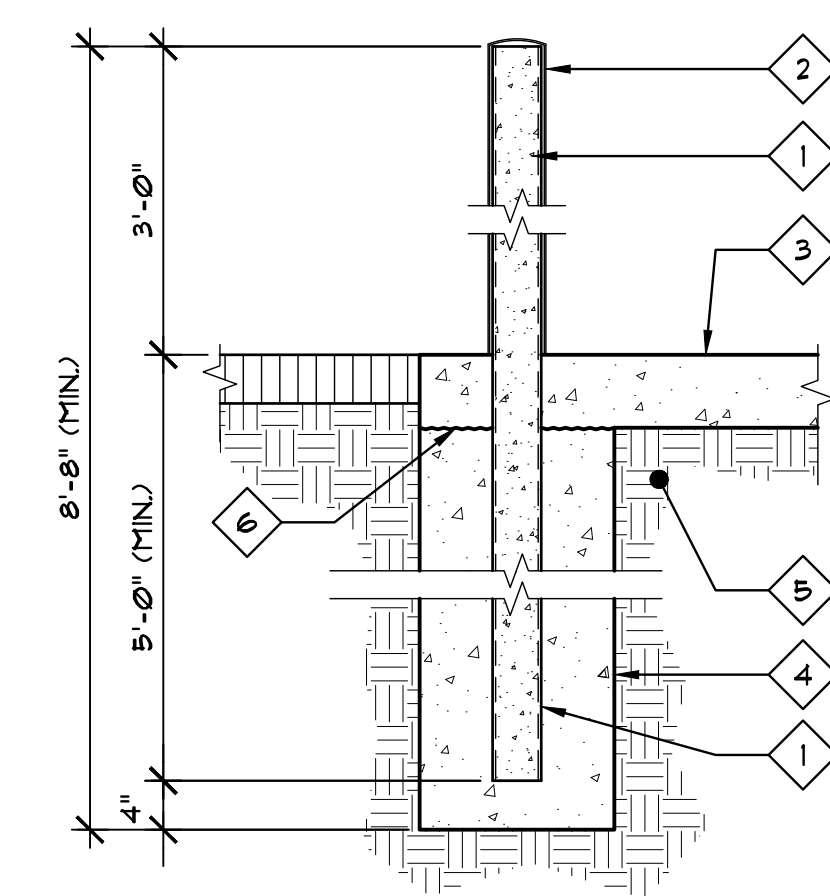


TEL: (702) 777-7774

CONSULTANT:

Project No: WE 25-149

—



Typical Pipe Bollard

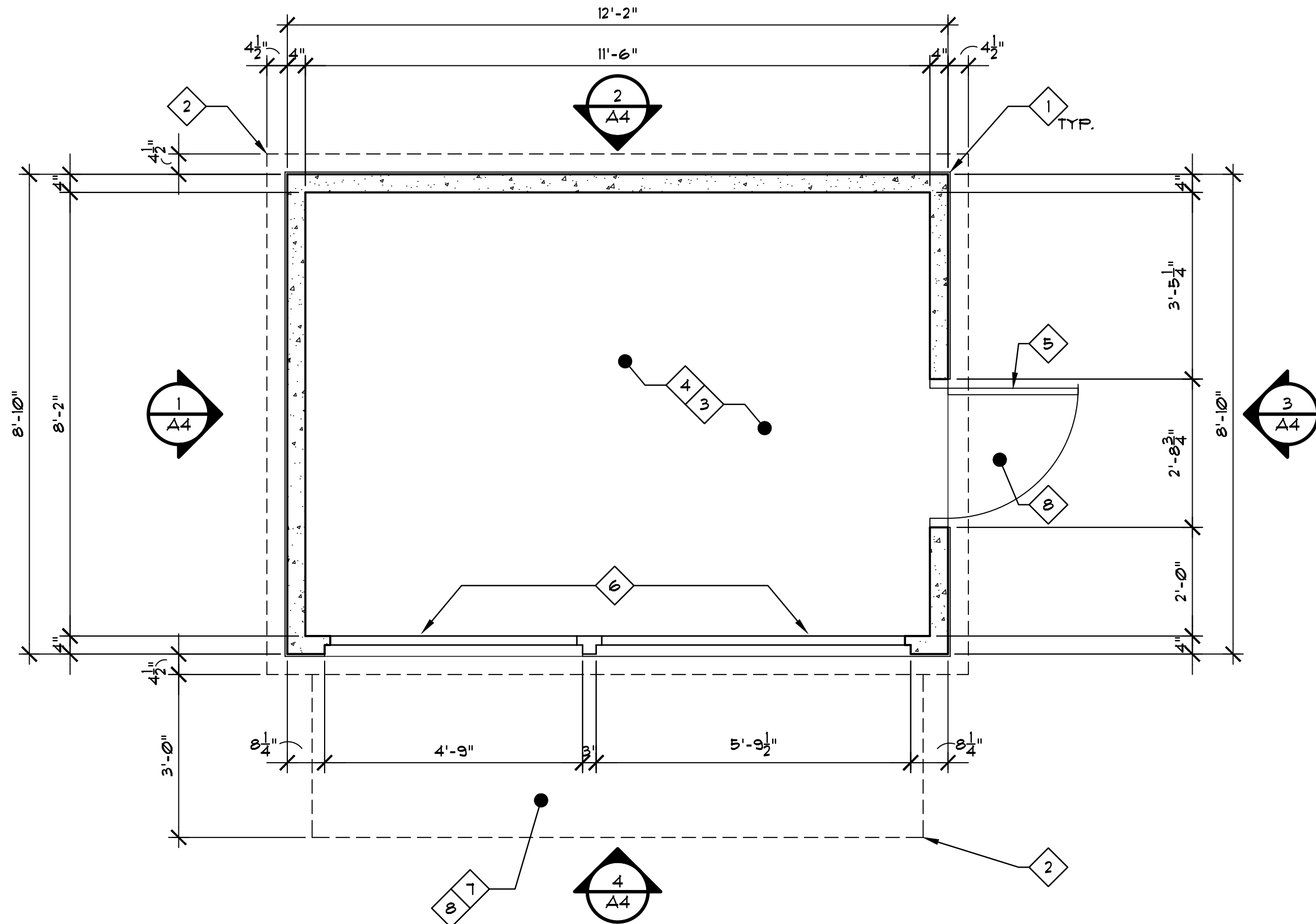
Scale: 3/4" = 1'-0"

- 4" DIA. STEEL PIPE:
OD: 4.5"; ID: 3.5"
MIN. 0.615" WALL THICKNESS.
FILLED WITH CONCRETE.
- "HDPE" BOLLARD SLEEVE
OVER STEEL PIPE BOLLARD.
- FINISH SURFACE OF
FOUNDATION.
- 1'-4" DIA. CONCRETE FOOTING.
- EXISTING SOILS.
- OPTIONAL: CONSTRUCTION
JOINT WITH ROUGHENED
SURFACE.

NOTE:
- SEE SITE PLAN FOR
LOCATIONS
- PRIME & PAINT ALL
EXPOSED STEEL SURFACES
- REFER TO MATERIAL AND
COLOR LEGEND ON
EXTERIOR ELEVATION
SHEET.

3
A3

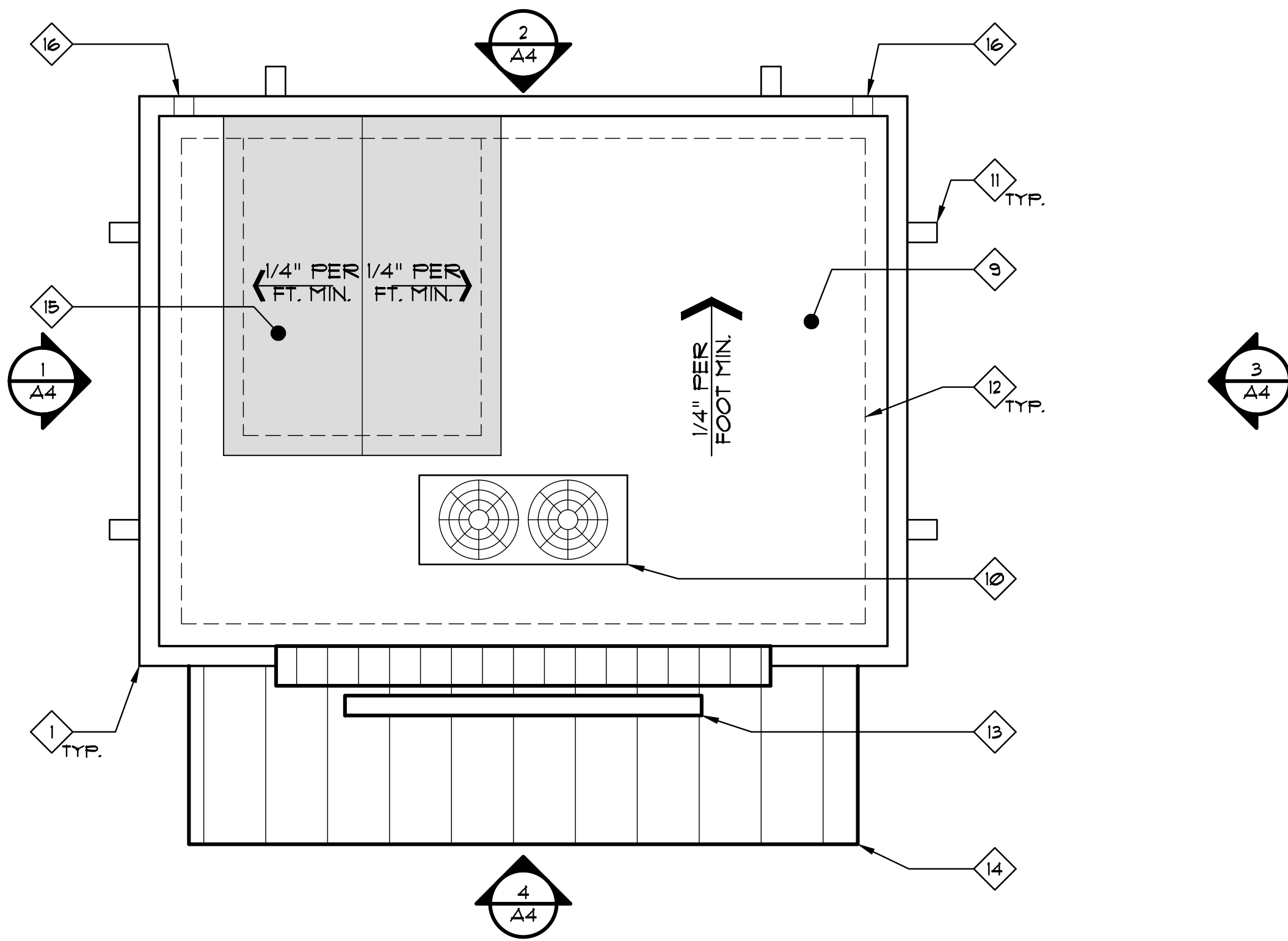
L:\DETAILS\DIV02\020000\03-WE



Floor Plan

Scale: 1/2" = 1'-0"

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Roof Plan

Scale: 1/2" = 1'-0"

Keynotes

A3

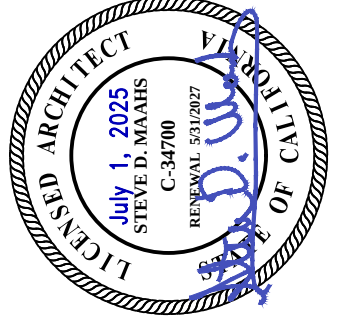
- PAINTED PRE-CAST CONCRETE WATER KIOSK, REFER TO STRUCTURAL, M/E/P AND EXTERIOR ELEVATIONS DRAWINGS.
- SOFFIT, TRELLIS OR CANOPY ABOVE, TYP. CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS.
- FLOOR SINK LOCATIONS, REFER TO PLUMBING DRAWINGS.
- PAINTED HOLLOW METAL DOOR.
- WATER/ ICE DISPENSER AND CONTROL PER MFR WRITTEN INSTRUCTION, REFER TO M/E/P DRAWINGS AND COORDINATE WITH OWNER. REFER TO SITE PLANS FOR ADA COMPLYING PATHWAYS OF TRAVEL.
- FLOOR LEVEL TO COMPLY WITH IBC SECTION 1010.1.5 FLOOR ELEVATION - SLOPE NOT TO EXCEED 1/4" PER FOOT.
- SLOPED PRE-CAST CONCRETE ROOF.
- CONDENSER EQUIPMENT BEYOND, REFER TO MECHANICAL & STRUCTURAL DIAG'S.
- LIGHTS BELOW, REFER TO ELECT. DRAWINGS. DASHED LINES REPRESENT BUILDING BELOW.
- BLUE & WHITE ACRYLIC COVER OVER LIGHT BOX, REFER TO ELECT. DIAG'S AND COORDINATE WITH OWNER.
- TRELLIS BELOW, REFER TO STRUCTURAL DRAWINGS.
- SHADED AREA REPRESENTS METAL ROOF COVERING OPENING FOR FUTURE ICE MACHINE REMOVAL/ REPLACEMENT.
- ROOF/ OVERFLOW SCUPPER DRAIN, REFER TO STRUCTURAL DRAWINGS.

General Notes

- CONTRACTOR TO FIELD VERIFY ALL CONDITIONS AND NOTIFY ARCHITECT AND OWNER IF VARIES.
- ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, MASONRY, OR CONCRETE UNO. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND EXISTING CONTROL DIMENSIONS.
- ANY DISCREPANCY BETWEEN MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DRAWINGS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.



AVARUUS
STUDIO S



SEAL:

PROJECT NAME:
Watermill Express #169018
3239 Sierra St.
Riverbank, CA 95367

SHEET TITLE:
**Floor & Roof Plans
& Details**

REVISIONS:

*				
*				
*				
*				

Project No : WE-25-49

Drawn By:
SM

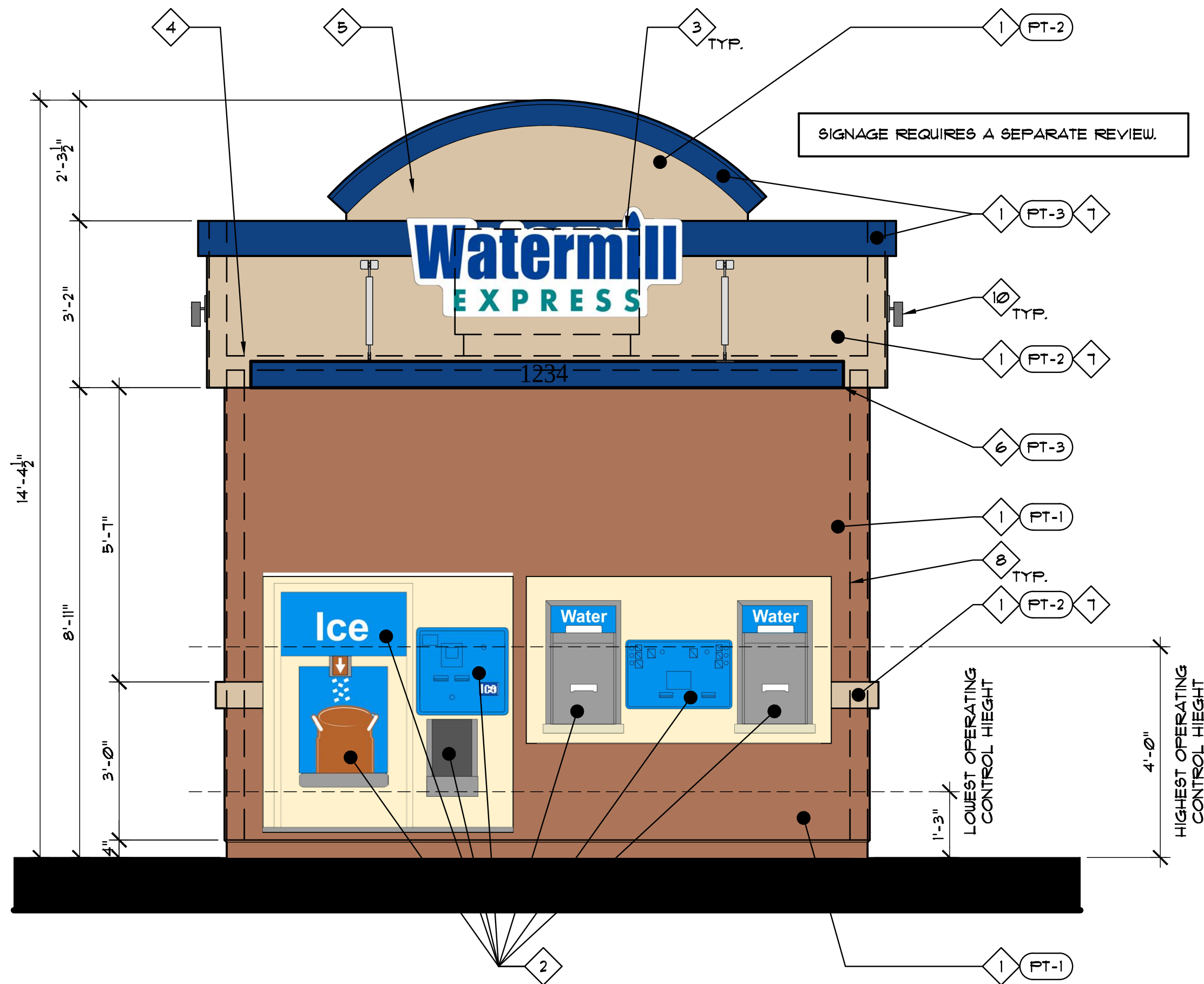
Date: July 1, 2025

Scale: As Noted

Sheet No :
A3

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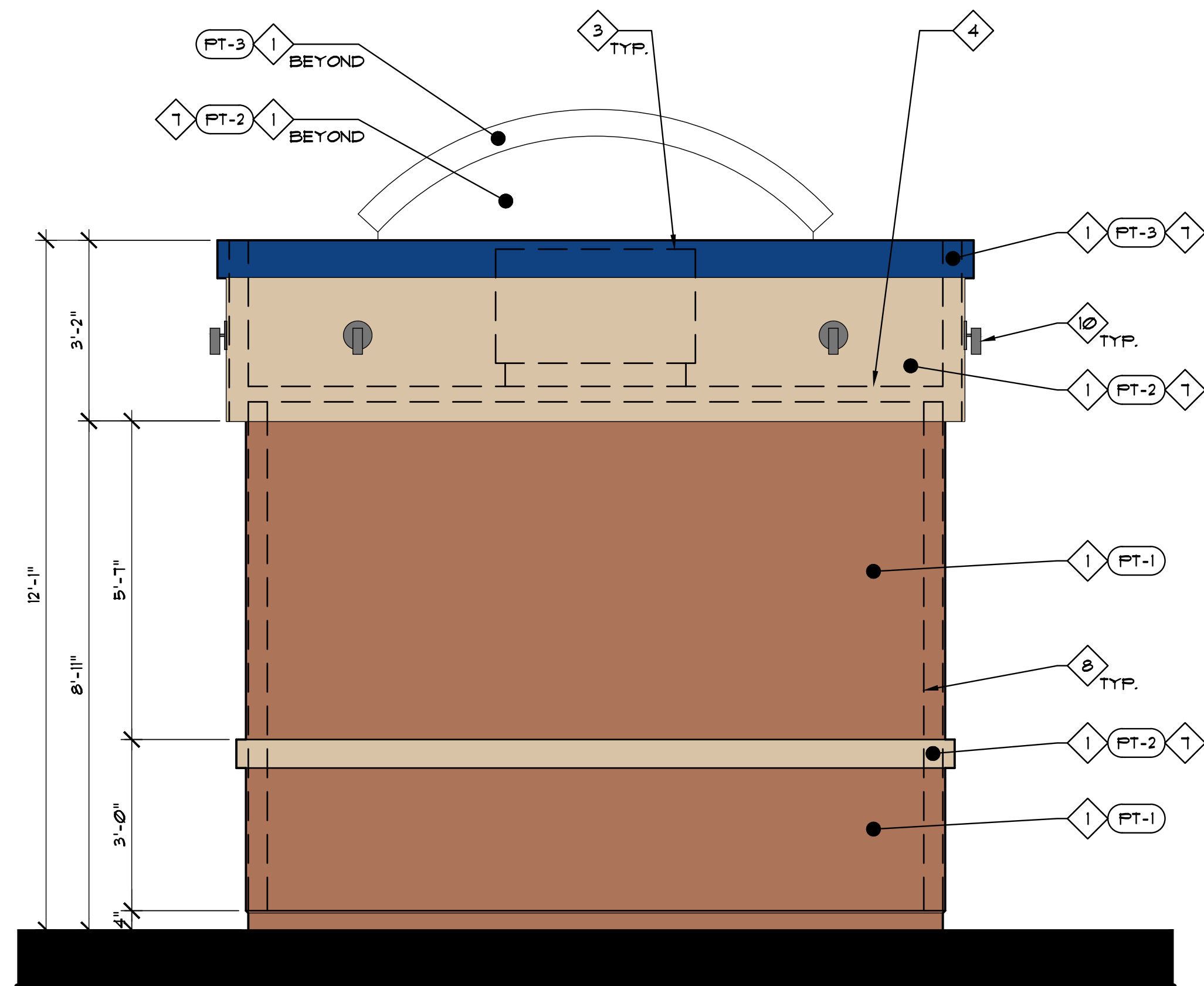
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Front Elevation

Scale: 1/2" = 1'-0"

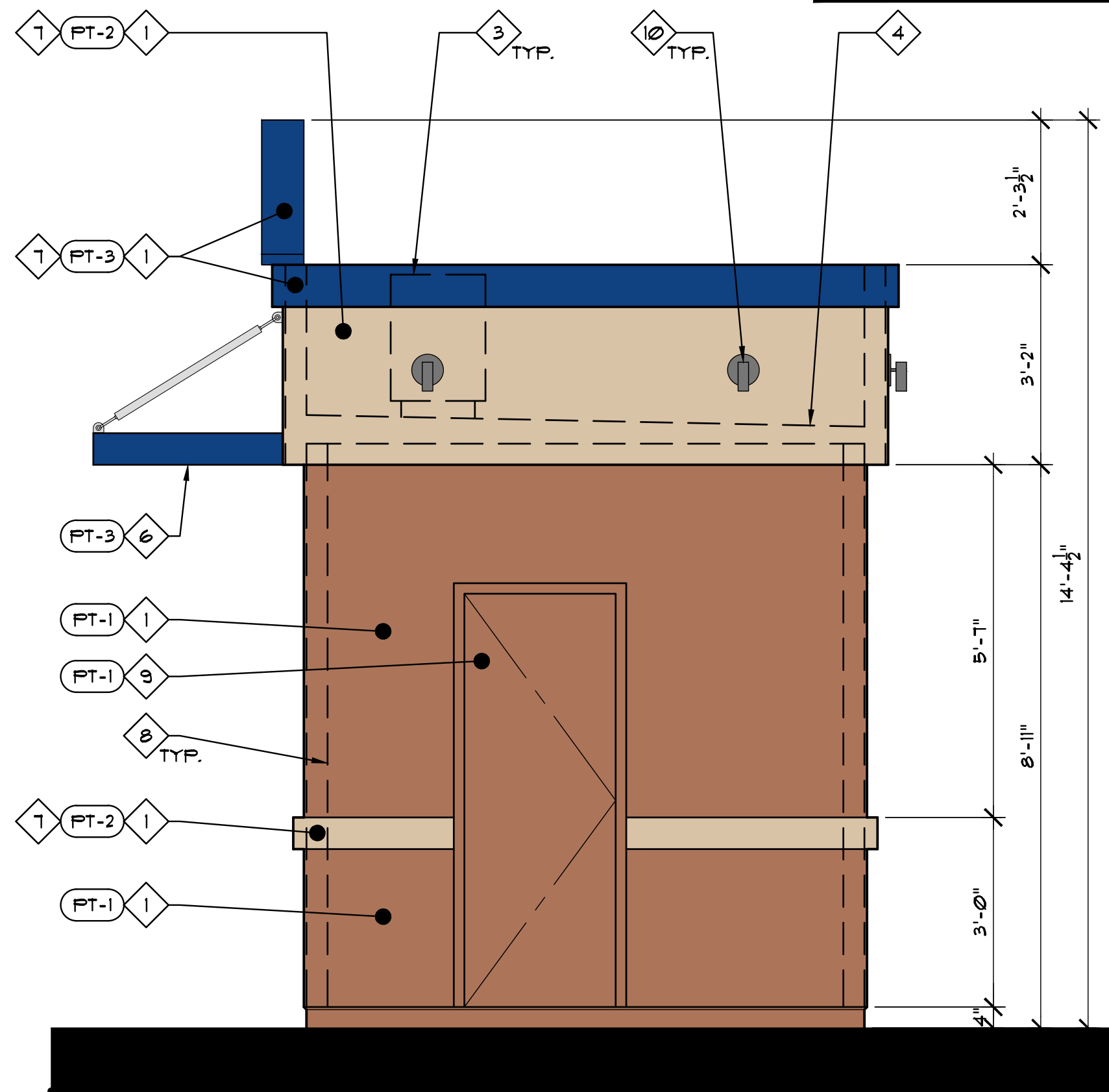
4
A4



Back Elevation

Scale: 1/2" = 1'-0"

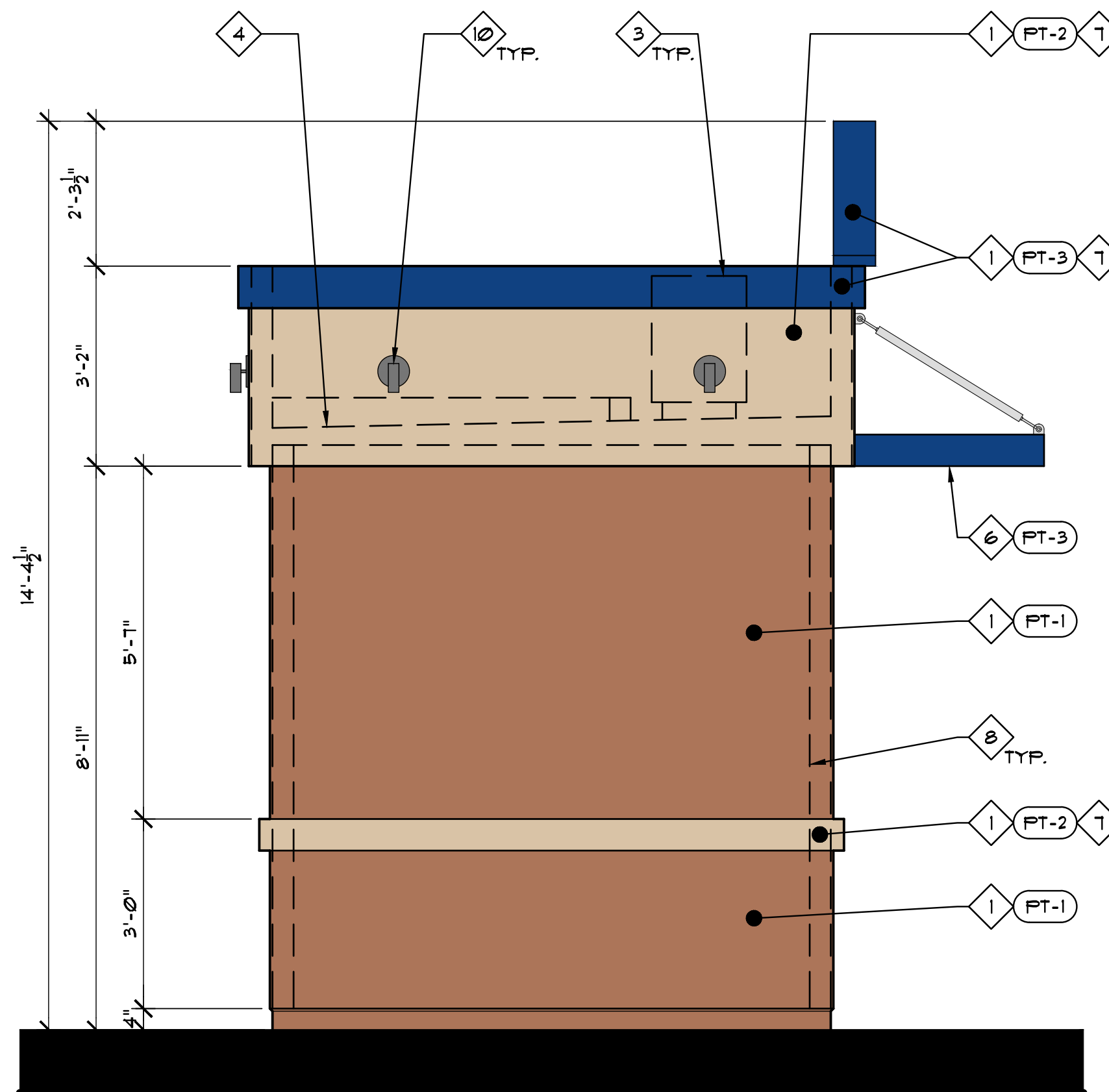
2
A4



Side Elevation

Scale: 1/2" = 1'-0"

3
A4



Side Elevation

Scale: 1/2" = 1'-0"

1
A4

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Keynotes A4

- 1 PAINTED PRE-CAST CONCRETE WATER KIOSK, REFER TO STRUCTURAL, M/E/P AND EXTERIOR ELEVATIONS DRAWINGS.
- 2 WATER/ ICE DISPENSER AND CONTROL PER MFR WRITTEN INSTRUCTION, REFER TO M/E/P DRAWINGS AND COORDINATE WITH OWNER.
- 3 CONDENSER EQUIPMENT BEYOND, REFER TO MECHANICAL & STRUCTURAL DUG'S.
- 4 SLOPED PRE-CAST CONCRETE ROOF LINE BEYOND.
- 5 BLUE & WHITE ACRYLIC COVER OVER LIGHT BOX, REFER TO ELECT. DUG'S AND COORDINATE WITH OWNER.
- 6 PRIME AND PAINTED METAL CANOPY AND SUPPORT SYSTEM, REFER TO STRUCTURAL DRAWINGS.
- 7 RETURN PAINT COLOR TO INSIDE FACE BACK TO MAIN BUILDING.
- 8 DASHED LINES REPRESENT BUILDING BEYOND.
- 9 PRIME AND PAINTED DOOR AND FRAME ASSEMBLY.
- 10 WALL MOUNTED EXTERIOR LIGHTING, REFER TO ELECTRICAL DUG'S.

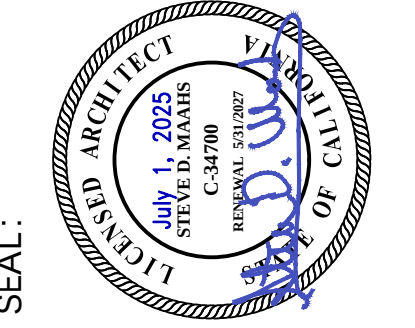
Materials & Colors

DESIGN IS BASED ON BUT NOT LIMITED TO BELOW ITEMS

- | |
|---|
| PT-1, SHERWIN WILLIAMS
*SW 0001 DECORUS |
| PT-2, SHERWIN WILLIAMS
*SW 0036 BUCRAM BINDING |
| PT-3, SHERWIN WILLIAMS
*SW B915-90 BLUE MATCH |

General Notes

- 1 CONTRACTOR TO FIELD VERIFY ALL CONDITIONS.
- 2 ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, MASONRY, OR CONCRETE UNL.O.



SEAL:

CONSULTANT:

PROJECT NAME:
Watermill Express #169018
3239 Sierra St.
Riverbank, CA 95367

Exterior Elevations

SHEET TITLE:

REVISIONS:

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*
*
*

Drawn By:
SM
Date: July 1, 2025
Scale: As Noted
Sheet No:

A4

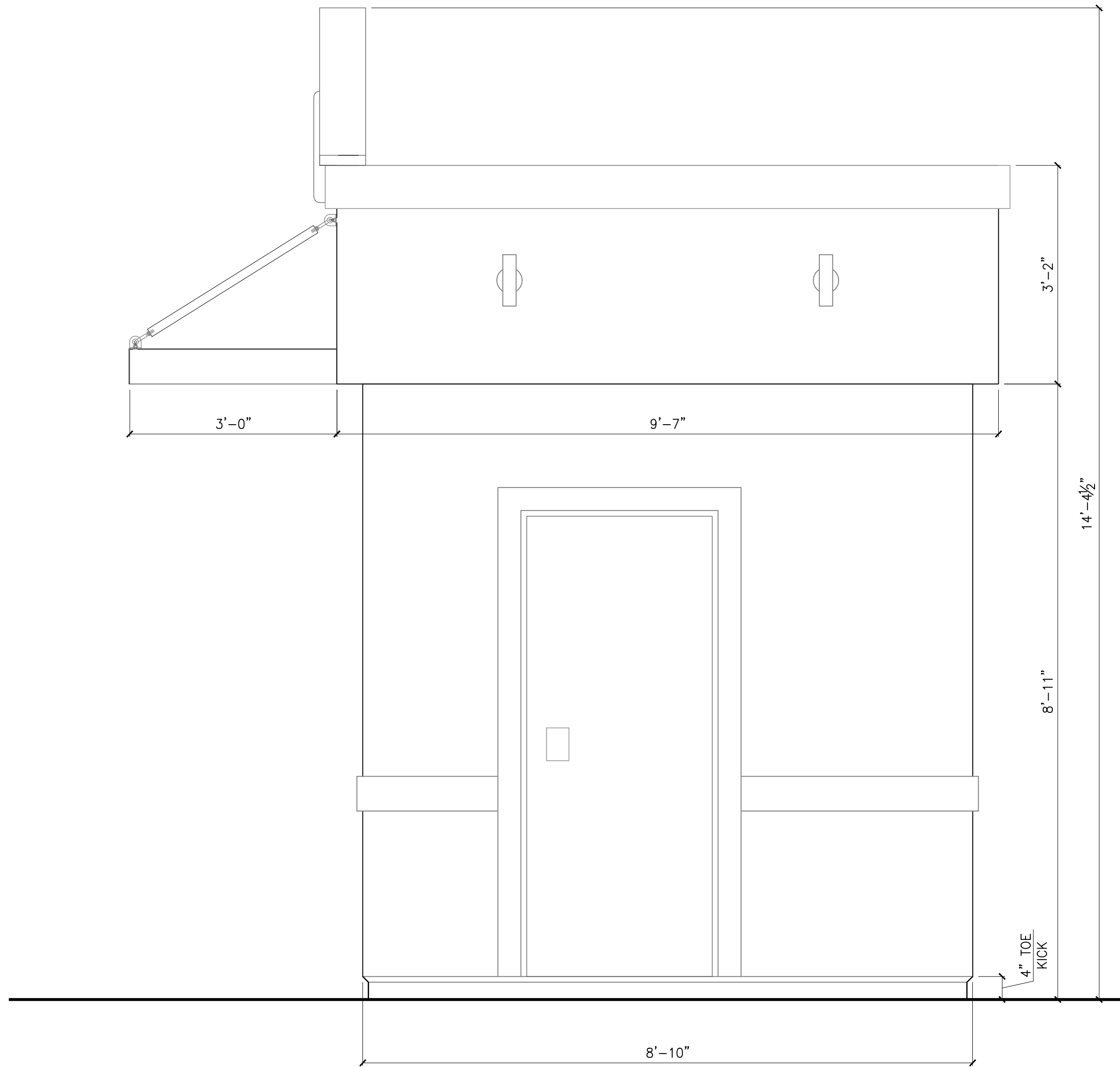
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WATERMILL EXPRESS®

WATER VENDING MACHINE 5000 SERIES



FRONT ELEVATION



SIDE ELEVATION

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Twining Consulting Inc. bda "RADCO" A CA DEPARTMENT OF
HOUSING & COMMUNITY DEVELOPMENT APPROVED THIRD
PARTY DESIGN APPROVAL AGENCY. DM920272
APPROVAL DATE: 6/25/2024
EXPIRATION DATE: 9/30/2025
APPROVAL NO: RAD - 18043
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LOCATION THAN THE ONE NOTED ON THESE DRAWINGS.

LOCATION:
3239 Sierra St.
Riverbank, CA 95367
Site Sds = 0.527

WATERMILL EXPRESS, INC.
1177 S. 4th AVE
BRIGHTON, COLORADO 80601
PHONE: (303) 659-1573
FAX: (303) 659-1635

NELSON ENGINEERING
Professional Engineers & Land Surveyors
WWW.NELSONENGINEERING.NET
PO Box 1599 | 430 South Cache St | Jackson, WY 83001
Jackson 307.733.2087 | Buffalo 307.684.7029



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WATER VENDING MACHINE

SHEET
TITLE:
**STRUCTURAL
COVER**

DATE: ORIGIN Date:
APRIL 2014
See Dated Engineer Stamp for Drawing date
DRAWN:
CMH
CHECKED:
DS
REVISIONS:
SEE SCHEDULE
ON SHEET S0
PROJECT NUMBER:
13-247-01

SHEET NUMBER: Structural
S-Cover
OF 6 SHEETS

5000 SERIES PROTOTYPE

S:\Proj\2013\247-01 Watermill Express - 2013 Prototype Design\Structural Drawings\DWG 5000 CA-CDC 2022.sxd STD Drawing Cover Drawing - Jul 09 2025 12:44:07 pm PLOTTED BY: Hansen

GENERAL NOTES & REQUIREMENTS

PROJECT DESCRIPTION:

1. THIS PROJECT CONSISTS OF A PRE-CAST CONCRETE ICE AND WATER VENDING KIOSK. THE KIOSK CONSISTS OF A PRE-CAST CONCRETE BASE UNIT, WITH A PRE-CAST CONCRETE TOP UNIT ABOVE. A PRE-FABRICATED ALUMINUM AWNING FRAME IS ATTACHED TO THE FRONT OF THE CONCRETE TOP UNIT. THE PRE-CAST BASE & TOP UNIT, AS WELL AS THE ALUMINUM AWNING SYSTEM ARE SHOP FABRICATED & ASSEMBLED ON SITE. THE FOUNDATION SYSTEM IS A CONCRETE MATT FOOTING CAST ON SITE.
2. THIS DESCRIPTION IS FOR GENERAL ORIENTATION ONLY.
3. THE DESIGN APPROACH FOR THIS PROTOTYPE WAS TO USE THE MOST CONSERVATIVE DESIGN CRITERIA FROM A WIDE RANGE OF POTENTIAL KIOSK LOCATIONS. THIS DESIGN CRITERIA USED IS INDICATED BELOW.

CODES & STANDARDS:

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE FOLLOWING CODES & STANDARDS:
ALL REFERENCES ARE THE LATEST EDITION UNLESS NOTED OTHERWISE.

1. 2022 CALIFORNIA BUILDING CODE
2. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE: ACI 318. (CURRENT EDITION)
3. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES: ASCE 7 STANDARD (CURRENT EDITION)
4. ALUMINUM DESIGN MANUAL: 2020
5. AISC – STRUCTURAL STAINLESS STEEL DESIGN GUIDE
6. STRUCTURAL WELDING CODE – ALUMINUM: AWS D1.2
7. ALL SITE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT EDITION OF THE LOCAL BUILDING CODE.
8. ADDITIONAL CODES & STANDARDS ALSO APPLY TO THE PROJECT, HOWEVER DO NOT APPLY DIRECTLY TO THE STRUCTURAL DESIGN OR THESE STRUCTURAL DRAWINGS. THOSE CODES ARE LISTED IN THE "ADDITIONAL ADOPTED CODES" NOTES SECTION ON THIS DRAWING.

OCCUPANCY USE GROUP= S2

CONSTRUCTION TYPE= VB

FLOOR R/U VALUE=0.25/4

ROOF R/U VALUE=0.3/3.33

WALL R/U VALUE=0.3/3.33

DESIGN CRITERIA:

THE DESIGN LOADS FOR CONCRETE SLAB; PRECAST WALL PANELS; AND ALUMINUM CANOPY FRAME ARE AS FOLLOWS:

1. GRAVITY DEAD LOADING:
- 1.a. LOWER BASE UNIT WALLS & SLAB: 19,604 LBS
- 1.b. WATER VENDING PANELS IN FRONT WALL: 535 LBS MIN; 785 LBS MAX.
- 1.c. ICE VENDING PANEL IN FRONT WALL: 195 LBS MIN; 350 LBS MAX.
- 1.d. DOOR IN SIDE WALL: 240 LBS
- 1.e. WATER TANK INSIDE BASE UNIT: 120 LBS (EMPTY)
- 1.f. ICE SKID INSIDE BASE UNIT: 1,535 LBS (EMPTY)
- 1.g. TOP UNIT WALLS & SLAB: 13,437 LBS
- 1.h. AWNING FRAME: 165 LBS
- 1.i. ROOF TOP CONDENSERS: (2) @ 170LBS 340 LBS
2. BASE UNIT EQUIPMENT LOADS:
- 2.a. WATER TANK FULL: 4,290 LBS (MAX)
- 2.b. ICE SKID WITH ICE MAKER & ICE: 4,010 LBS (MAX)
3. BASE UNIT SLAB LOADS:
- 3.a. FLOOR LIVE LOAD: 40psf DISTRIBUTED –OR– 300# POINT LOADING FOR ONE MAINTENANCE PERSONNEL. (LIVE LOAD IS ONLY DISTRIBUTED AT AREAS WHERE NO EQUIPMENT IS LOCATED)
- 3.b. FLOOR DEAD LOAD: 50psf (4" THICK CONCRETE SLAB ON GRADE) (DEAD LOADING OF EQUIPMENT & BASE & TOP UNIT ARE INDICATED IN SECTION 1 OF THIS CRITERIA)
- 3.c. ROOF DEAD LOAD: ~62.5 psf (AVG 5" CONCRETE SLAB) (DEAD LOADING OF TOP UNIT & ROOF CONDENSERS ARE INDICATED IN SECTION 1 OF THIS CRITERIA)
4. ROOF LIVE LOAD:
- 4.a. 20 PSF MINIMUM
5. SNOW LOADING –OR– RAIN LOAD: WHERE APPLICABLE:
- 5.a. SNOW / RAIN LOAD: P_{SNOW}= 60 PSF (max)> RAIN LOAD (60psf Used for ALL Units for Snow –OR– Rain)
- 5.b. EXPOSURE FACTOR: C_e= 1.0
- 5.c. IMPORTANCE FACTOR: I= 0.8 (RISK CATEGORY I BUILDING)
- 5.d. THERMAL FACTOR: C_t= 1.0
- 5.e. SLOPE FACTOR: C_s=1.0
6. WIND LOADING:
- 6.a. BASIC WIND SPEED: V=170 MPH (3–SECOND GUST)
- 6.b. RISK CATEGORY= I
- 6.c. EXPOSURE CATEGORY= D
- 6.d. IMPORTANCE FACTOR= 1.0
- 6.e. ENCLOSURE CLASSIFICATION: ENCLOSED
- 6.f. BASE UNIT WALL – DESIGN PRESSURES:
- | | |
|-----------------------|-----------------------|
| NET +GC _{pi} | NET –GC _{pi} |
| 56 PSF (WINDWARD) | 32 PSF (WINDWARD) |
| 16 PSF (LEEWARD) | 40 PSF (LEEWARD) |
- 6.g. ROOF DESIGN PRESSURES: 84 PSF (UPLIFT – MAX.)
- 6.h. TOP UNIT WALL – DESIGN PRESSURES: 98 PSF (WINDWARD) 65 PSF (LEEWARD)
- 6.j. INTERNAL PRESSURE COEFFICIENT, GC_{pi}= ±0.18
- 6.k. CANOPY PRESSURES: 148 PSF (UPLIFT – MAX)
7. SEISMIC LOADING:
- 7.a. RISK CATEGORY= I
- 7.b. IMPORTANCE FACTOR= 1.0
- 7.c. SPECTRAL RESPONSE ACCELERATION PARAMETERS:
- | | | |
|--|---------------------------------------|---|
| [MAX. PARAMETERS – FOR]: | FOUNDATION OPTION A: | FOUNDATION OPTION B |
| Foundation "OPTION" Type | S _s =~1.05g(±) (MAX) | S _s = 2.967g (MAX) |
| Is determined BY Structural Engineer For Specific Site & Site DwgS Provided as needed. | S ₁ =0.36g (±) (MAX) | S ₁ = 1.071g (MAX) |
| | S _{ds} =0.85 (MAX) | S _{ds} = 1.978 (MAX) |
| | S _{d1} =0.47 (w/ Assoc. Sds) | S _{d1} = 1.071 (w/ Associated Sds) |
- 7.d. SITE CLASS: D
- 7.e. SEISMIC DESIGN CATEGORY= D
- 7.f. SEISMIC FORCE RESISTING SYSTEM:
- | |
|---------|
| R= 5.0 |
| Cd= 2.5 |
| Ωo= 2.5 |
| p = 2.5 |
- 7.g. BASE SHEAR V= 0.17 W (FDN OPTION A); V=0.3956 W (FND OPTION B)
- 7.h. OUT OF PLANE FORCES ON STRUCTURAL WALLS: F_p= 0.34 W_w (FDN A); F_p= 0.7912 W_w (FDN B)

EQUIVALENT LATERAL FORCE PROCEDURE USED, WITH BASE SLAB & TOP UNIT SLAB DESIGNED AS STRUCTURAL DIAPHRAGMS.

8. SOILS:
- 8.a. ALLOWABLE BEARING PRESSURE: 1,500 PSF – MINIMUM PER CBC TABLE 1806.2 & 1806A.2 FOR PRESUMPTIVE LOAD-BEARING VALUES OF SOILS.
- 8.b. COEFFICIENT OF FRICTION: 0.35

FOUNDATION SLAB NOTES:

SEE TYPICAL FOUNDATION NOTES ON SHEET NO. S1 OF THESE DRAWINGS:

1. CAST IN PLACE CONCRETE: THE STRUCTURAL DESIGN OF THE FOOTING FOUNDATION IS BASED ON A SPECIFIED COMPRESSIVE STRENGTH f'_c OF 2,500 psi, HOWEVER A MINIMUM COMPRESSIVE STRENGTH f'_c OF 3,000psi MUST BE USED PER CBC 2022.
- SEE SITE SPECIFIC REQUIREMENTS WHERE COMPRESSIVE STRENGTH IS TO EXCEED THIS DESIGNED VALUE.
2. PROVIDE COMPACTION TESTING REQUIREMENTS OF SUBGRADE PRIOR TO PLACEMENT OF FOUNDATION SYSTEM, WITH 90% at 12" PER 2022 CBC.

PRE-CAST UNIT NOTES:

SEE TYPICAL PRE-CAST UNIT NOTES FOR BASE UNIT & TOP UNIT ON SHEET NO. S2 & S3 OF THESE DRAWINGS:

1. PRE-CAST BASE & TOP UNITS SHALL RECEIVE ONE COAT OF "THOROWALL CM PRIMER" PER THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS PRIOR TO THE FINAL FINISH.
2. THE FINAL FINISH SHALL BE "THOROWALL ACRYLIC FINISH" HAND TROWELED OVER PREPARED PRECAST SHELL PER MANUFACTURER'S RECOMMENDATIONS.

SPECIALTY INSPECTIONS:

THE FOLLOWING SPECIALTY INSPECTIONS SHALL BE PERFORMED IN THE FIELD, DURING CONSTRUCTION & INSTALLATION OF NOTED COMPONENTS:

1. POST INSTALLED ANCHORS INTO HARDENED CONCRETE SHALL BE PERIODICALLY INSPECTED. (SEE NOTE #10 ON DRAWING S3)
2. REINFORCING STEEL, INCLUDING WELDED WIRE FABRIC (WWF) PLACED IN THE FIELD FOR CAST IN PLACE CONCRETE, SHALL BE PERIODICALLY INSPECTED. (SEE "SPECIALTY INSPECTIONS" NOTE #1 ON DRAWING S1)
3. SPECIAL INSPECTIONS & VERIFICATIONS FOR CONCRETE CONSTRUCTION PLACED IN THE FIELD SHALL NOT BE REQUIRED PER CBC 2022, SECTION 1705.3.2.3. (SEE "SPECIALTY INSPECTIONS" NOTE #2 ON DRAWING S1)
IF LOCAL AGENCY HAS ADOPTED CBC 2022 CHAPTER 17A, AGENCY TO DETERMINE IF THIS CAN BE ALLOWED, DUE TO DESIGN PARAMETERS & SPECIFIC CONDITIONS OF THE KIOSK.
4. SPECIAL INSPECTIONS IN THE FIELD FOR ALUMINUM AWNING IS NOT REQUIRED, AS ALUMINUM AWING IS SHOP FABRICATED PRIOR TO SHIPPING OF THE UNIT.
5. SHOP INSPECTIONS; TESTS; & REPORTS FOR PRECAST CONCRETE UNITS & WELDING OF AWNING TO BE PROVIDED TO THE PLAN REVIEWER UPON REQUEST, IN ACCORDANCE WITH CBC 2022, SECTION 1705.

SPECIALTY INSPECTIONS TO BE PROVIDED BY AN APPROVED AGENCY, SPECIFIED BY THE OWNER. ALL SPECIALTY INSPECTIONS TO BE CONDUCTED AND REPORTS PROVIDED IN ACCORDANCE WITH THE CURRENT LOCAL BUILDING CODE.

ALL SPECIAL INSPECTOR CERTIFICATIONS ARE TO BE PROVIDED TO THE CITY BUILDING OFFICIAL FOR REVIEW.

ALL SPECIAL INSPECTION OBSERVATION REPORTS AND TESTING RESULTS ARE TO BE PROVIDED TO THE CITY BUILDING OFFICIAL FOR REVIEW.

LOCATION NOTES:

1. THESE DRAWINGS SHALL NOT BE USED IN ANY LOCATION OR BY ANY REVIEWING AUTHORITY OTHER THAN THAT INDICATED IN THE LOWER RIGHT HAND CORNER OF THESE DRAWINGS. AS THESE DRAWINGS WERE PREPARED AND APPROVED FOR THE SPECIFIED LOCATION OR REVIEWING AUTHORITY ONLY.
2. USE OF THESE DRAWINGS FOR ANY OTHER LOCATION; SITE; TOWN/CITY; COUNTY; OR STATE WITHOUT WRITTEN APPROVAL BY THE ENGINEER OF RECORD IS PROHIBITED, AND WILL VOID THE VALIDITY OF THESE DRAWINGS.
3. THESE DRAWINGS ARE NOT INTENDED FOR USE IN WI LOCATIONS. IF KIOSK IS TO BE LOCATED IN WI, FURTHER REVIEW & APPROVAL IS REQUIRED FOR WI APPROVAL.
4. THE EXTERIOR WALLS OF THE BASE UNIT AND THE PARAPET WALLS OF THE TOP UNIT ARE CONSTRUCTED OF PRECAST CONCRETE, THEREFORE ARE OF NONCOMBUSTIBLE MATERIAL.
5. THE FRONT AWNING IS CONSTRUCTED OF ALUMINUM TUBE STEEL WITH ALUMINUM PLATE.
6. THE EXTERIOR DOOR IS NONCOMBUSTABLE METAL DOOR AND FRAME.

SPECIAL CONDITIONS/LIMITATIONS:

1. THE WALL/BASE UNIT AND THE ROOF (TOP UNIT) ARE FABRICATED SEPARATELY & SHIPPED SEPARATELY.
2. THE WALL/BASE UNIT AND THE ROOF UNIT CONNECTION IS SUBJECT TO LOCAL INSPECTION.
3. THE TOP UNIT IS TO BE ATTACHED ON SITE. SEE DETAILS 1 & 3 ON DRAWING S3.
4. DECAL IS TO BE AFFIXED NEAR THE DOOR FRAME.
5. INSIGNIA IS TO BE AFFIXED ON THE TOP UNIT (ROOF) AT THE INSIDE.
6. THE BASE SERIAL NUMBER SHALL BE LOCATED ON THE DOOR FRAME.
7. THE ROOF SERIAL NUMBER SHALL BE LOCATED ON THE INSIDE OF THE ROOF CURB VISIBLE FROM THE INSIDE.

ADOPTED CODES

ADDITIONAL CODES & STANDARDS WHICH APPLY TO THE PROJECT, HOWEVER DO NOT DIRECTLY APPLY TO THE STRUCTURAL DESIGN OR THESE STRUCTURAL DRAWINGS INCLUDE:

1. COMMERCIAL MODULAR (AS DEFINED IN THE CALIFORNIA HEALTH & SAFETY CODE SECTION 18001.8)
2. CALIFORNIA HEALTH & SAFETY CODE SECTION 18028
3. 2022 CALIFORNIA MECHANICAL CODE
4. 2022 CALIFORNIA PLUMBING CODE
5. 2022 CALIFORNIA ELECTRICAL CODE
6. CALIFORNIA CODE OF REGULATIONS ARTICLE 1
7. 2022 CALIFORNIA GREEN CODE
8. 2022 CALIFORNIA ENERGY CODE
9. ANSI A117.1–1986 & ADA

REFER TO THE MEP DRAWINGS FOR ADDITIONAL DESIGN ASSOCIATED WITH THESE CODES & STANDARDS.

STRUCTURAL DRAWING INDEX

S–COVER – STRUCTURAL COVER PAGE

S0 – NOTES & REVISIONS

S1 – FOUNDATION PLAN & DETAILS

*S2 – BASE UNIT PLAN & WALL ELEVATIONS

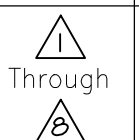
*S3 – TOP UNIT PLAN & WALL ELEVATIONS

*S4 – AWNING DETAILS

Structural Schedule of Special Inspections

LEGEND: C = CONTINUOUS NA=NOT APPLICABLE IF BUILDING OFFICAL APPROVES		
VERIFICATION AND INSPECTION		EXTENT:
SOILS (CBC 1705.6 & 1705A.6)		
Verify materials below shallow foundations are adequate to achieve the design bearing capacity & Verify excavations are extended to proper depth and have reached proper material.		NA
Prior to placement of compacted fill, inspect subgrade and verify that site has been prepared properly.		P
P: If compacted fill is used at the Site/Location; Where CBC section 1803 does not require reporting of materials & procedures for fill placement, the Special Inspector shall verify that the in-place dry density of any compacted fill is not less than 90% of the maximum dry density at optimum moisture content determined in accordance with ASTM D1557.		
NA: With new foundation slabs being placed at existing parking lot areas; if the subgrade is suitably compacted, with Foundation Bearing Notes as stated on Drawing S1, Special Inspections of Soils is Not Applicable – with approval from the Building Official.		
CONCRETE CONSTRUCTION (CBC 1705.3 & 1705A.3)		
Inspect reinforcement, and verify placement		P
Inspect formwork for shape, location, and dimensions of the concrete member being formed.		P
Inspect concrete placement for proper application techniques		C
Field verify use of required design mix		NA
Prior to placement, obtain samples (concrete cylinders) for strength tests, & field verify slump; air content; and temperature tests		NA
Inspect post installed anchors into hardened concrete where indicated on plans, in accordance with approved ICC-ES report & specified installation techniques. [Specialty Inspections Note #1 – S0]		P
Inspect erection of precast concrete members		P
NA: Per "Specialty Inspections Note #2 on Drawing S1 & Note #3 on Drawing S0: Special inspections for design mix & concrete strength tests are not required if Local Agency approves CBC 2022, Section 1705.3.2.3.		
- Specialty inspections to be provided by an approved agency, specified by the owner. - All Specialty inspections to be conducted and reports provided in accordance with the current local building code. - All Special Inspector certificates are to be provided to the City Building Official for review. - All Special Inspection Observation Reports and Testing Results are to be provided to the City Building Official for review. - Prior to the start of construction, the approved agency(s) shall provide written documentation to the Building Official if requested, demonstrating competence and relevant experience or training of the special inspectors who will perform the special inspections and tests during construction.		

REVISIONS:

No.:	DATE:	DESCRIPTION:
	4/10/2015 Through FEB. 2019	• UPDATES TO BASE UNIT; NOTES; CODES & RADCO REVIEW & APPROVALS FROM APRIL 2015 THROUGH FEBRUARY 2019
	JULY/AUG 2020	• UPDATED CODES & STANDARDS FOR CBC 2019 & ASCE 7–16.
	SEPT. 2020	• UPDATED CONCRETE MIN. COMPRESSIVE STRENGTH FOR FOUNDATION SLAB & ANCHORS
	NOV./DEC 2022	• UPDATED FOUNDATION PLAN OPENINGS & REMOVED TELECOM OPENING: S1 • UPDATED BASE UNIT FLOOR OPENINGS: S2; • REMOVED GRAVEL OPENING IN FOUNDATION A. • UPDATED CODES & STANDARDS FOR CBC 2022; ASCE 7–16; & ACI 318–19.
	FEB 2023 MAY 2023	• INCLUDED FLOOR DL; FLOOR LL; & ROOF DL TO DESIGN CRITERIA ON S0 • UPDATED RADCO NOTE WITH MOST RECENT RADCO REVIEW & APPROVAL.
	JUNE 2023	• ADDED SPECIALTY INSPECTOR NOTES ON DRAWING S0.
	SEPT. 2023	• ADDED SPECIALTY INSPECTION SCHEDULE DRAWING S0.
	OCT. 2023	• REVISED BOLLARD DETAIL DRAWING S1.
	MARCH 2024	• REVISED "DESIGN CRITERIA" NOTES ON THIS DRAWING TO ADD RAIN LOADING TO NOTE #5a. • REVISED "DESIGN CRITERIA" SECTION #7 ON THIS DRAWING TO INCLUDE MAX. SEISMIC RESPONSE ACCELERATION PARAMETERS FOR "FOUNDATION OPTION A". • ADDED SITE SPECIFIC Sds VALUE ON LOCATION ADDRESS NOTE. (ALL DRAWINGS)
	JUNE 2024	• UPDATED RADCO NOTE WITH UPDATED APPROVAL DATE

NOTE:

Drawings *S2; *S3; & *S4 are for PRECAST and PRE-ENGINEERED systems (precast concrete Base Unit; precast concrete Top Unit; and prefabricated Aluminum awning).
At Owners (WATERMILL EXPRESS INC.) request and upon approval from the Local Building Department Authority – Drawings S2; S3; & S4 may not need to be submitted for approval by the building department as are approved under the RADCO 3rd party Review and are precast and pre-assembled systems. However these noted drawing pages can be provided to the building department upon request.

WATERMILL EXPRESS, INC.

PHONE: (303) 659-1573
FAX: (303) 659-1635

1177 S. 4th AVE
BRIGHTON, COLORADO 80601

NELSON
ENGINEERING
Professional Engineers & Land Surveyors
WWW.NELSONENGINEERING.NET
PO Box 1599 • 439 South Cache St • Jackson, WY 83001
Jackson 307.733.2087 • Buffalo 307.684.7029



07/09/2025

THIS ITEM HAS BEEN DIGITALLY SIGNED & SEALED BY:
CARLA M. HANSEN
ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

WATERMILL EXPRESS®

WATER VENDING MACHINE

SHEET
TITLE:

NOTES &
REVISIONS

DATE: ORIGIN Date:
APRIL 2014
See Dated Engineer Stamp for Drawing date

DRAWN:

CMH

CHECKED:

DS

REVISIONS:

SEE SCHEDULE
ON SHEET S0

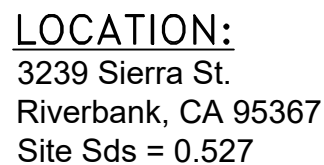
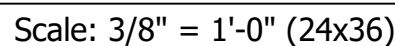
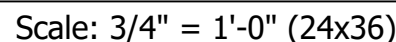
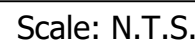
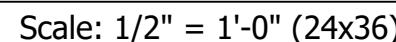
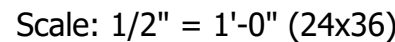
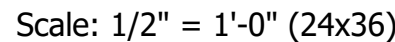
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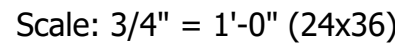
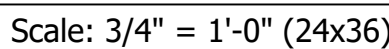
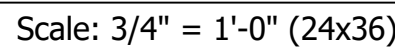
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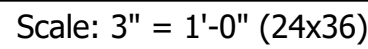
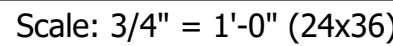
OF 6 SHEETS
24



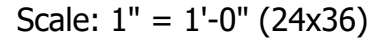
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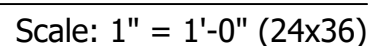
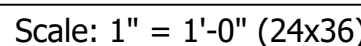
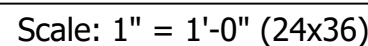


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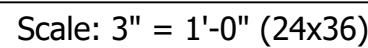
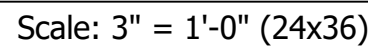
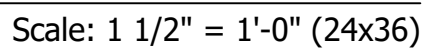


OF 6 SHEETS

5000 SERIES PROTOTYPE



SEE DRAWING S3 FOR PRE-CAST TOP UNIT



LOCATION:
3239 Sierra St.
Riverbank, CA 95367
Site Sds = 0.527

THESE DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY
Twining Consulting Inc. bda "RADCO" A CA DEPARTMENT OF
HOUSING & COMMUNITY DEVELOPMENT APPROVED THIRD
PARTY DESIGN APPROVAL AGENCY. DM920272
APPROVAL DATE: 6/25/2024
EXPIRATION DATE: 9/30/2025
APPROVAL NO: RAD - 18043
THESE DRAWINGS MAY NOT BE USED AT ANY OTHER SITE
LOCATION THAN THE ONE NOTED ON THESE DRAWINGS.

- 1) STAINLESS STEEL EYE BOLT:
TYPE 316 STAINLESS STEEL THREADED SOLID ROD END WITH $\frac{1}{2}$ " ϕ —13 THREAD; 1" ϕ OUTSIDE EYE; & $\frac{3}{8}$ " ϕ THRU HOLE, WITH TOTAL LENGTH OF 44". THIS EYE BOLT CONNECTOR TO BE LOCATED AT EACH END OF THE $\frac{1}{2}$ " ϕ ALUMINUM ROD. EYE BOLT CONNECTORS TO BE SIMILAR TO McMASTER-CARR PART NUMBER: 6097K43. EYE BOLT ROD END SHALL HAVE A MINIMUM TENSILE STRENGTH OF 75ksi & MINIMUM YIELD STRENGTH OF 30ksi.
- 2) DOUBLE ANGLES TO BE 304—2B STAINLESS STEEL, 7 GA THICKNESS WITH A MINIMUM TENSILE STRENGTH OF 73.2ksi & MINIMUM YIELD STRENGTH OF 31.2ksi.
- 3) STAINLESS STEEL HEX HEAD BOLTS TO BE TYPE 304: GRADE B8; CLASS 1 STAINLESS STEEL AISI 304 CARBIDE SOLUTION TREATED, WITH MIN. TENSILE STRESS OF 75ksi & MINIMUM YIELD STRESS OF 30ksi. A194 GRADE 8 HEX NUTS & STAINLESS STEEL 304 FLAT & LOCK WASHERS TO BE USED AT ALL HEX HEAD BOLTS.
- 4) STAINLESS STEEL WASHERS TO BE UNDER BOTH THE BOLT HEAD AND THE NUT. LOCK WASHERS TO BE USED UNDER THE NUT FOR ALL STAINLESS STEEL CONNECTIONS.
- 5) BOLTED CONNECTIONS TO BE SNUG-TIGHT [TIGHTNESS REQUIRED TO BRING THE CONNECTED PLIES INTO FIRM CONTACT].

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SHEET
TITLE:

AWNING DETAILS

DATE: ORIGIN Date:
APRIL 2014

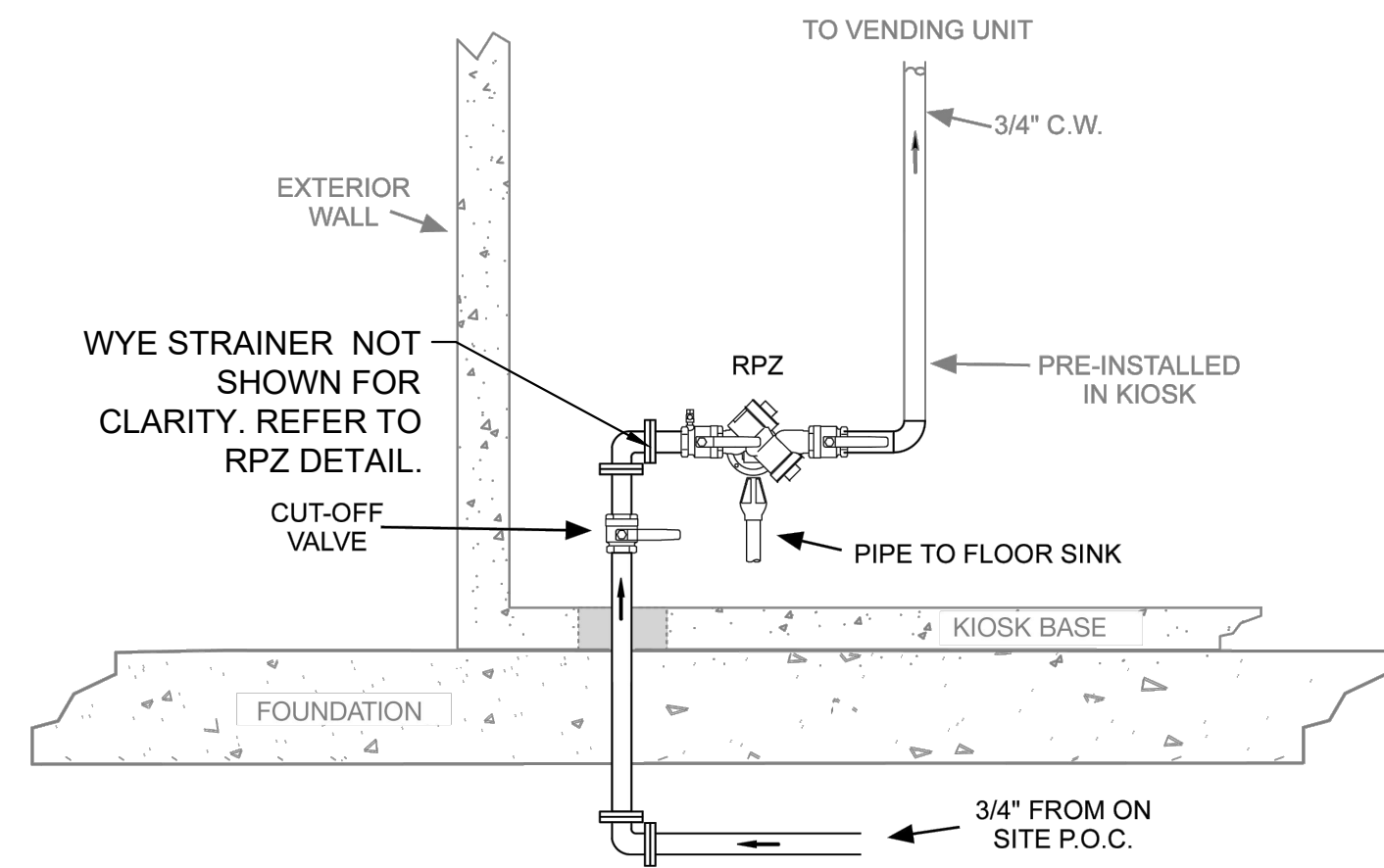
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CMH
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DS
REVISIONS:

SEE SCHEDULE
ON SHEET S0

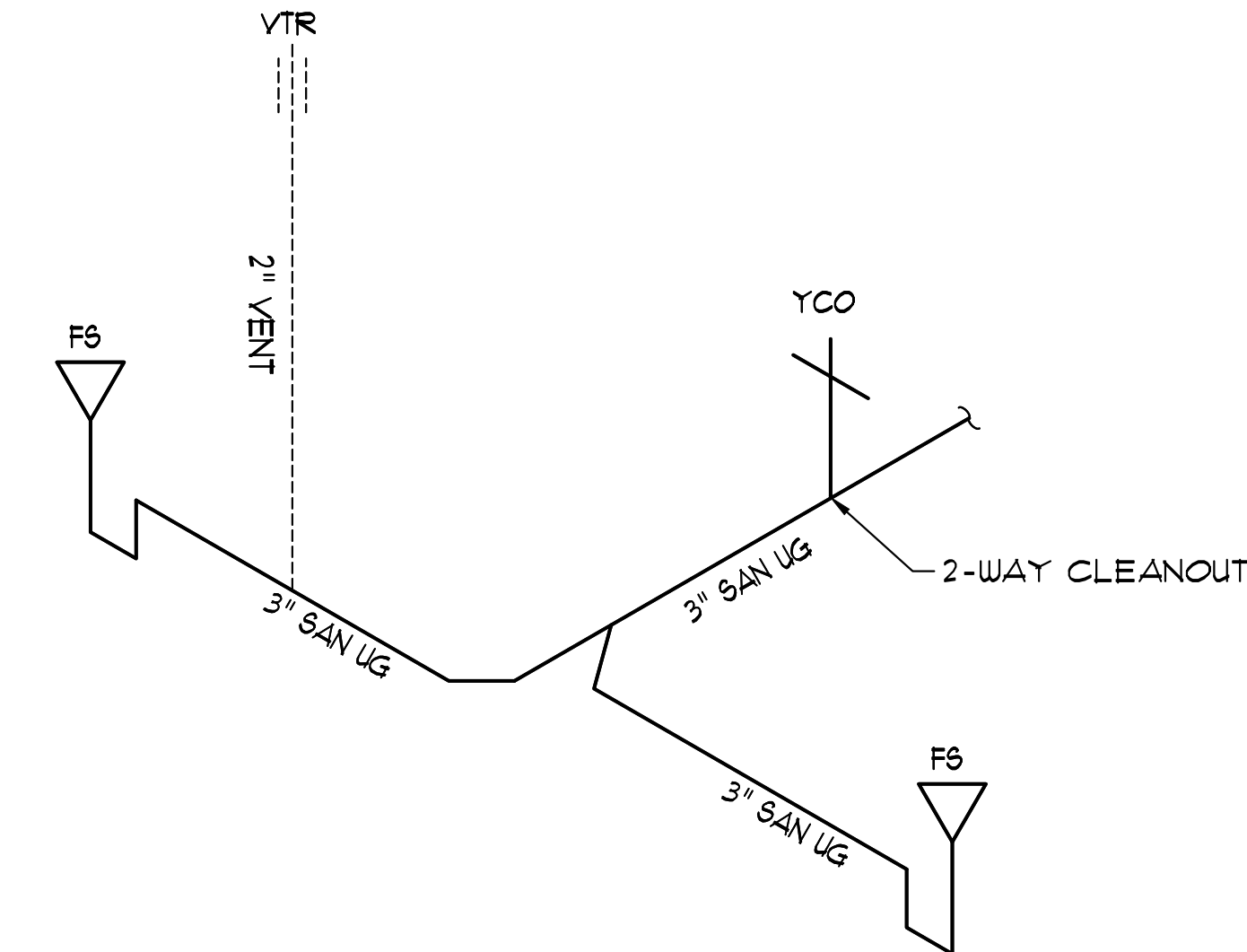
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OF 6 SHEETS:
28

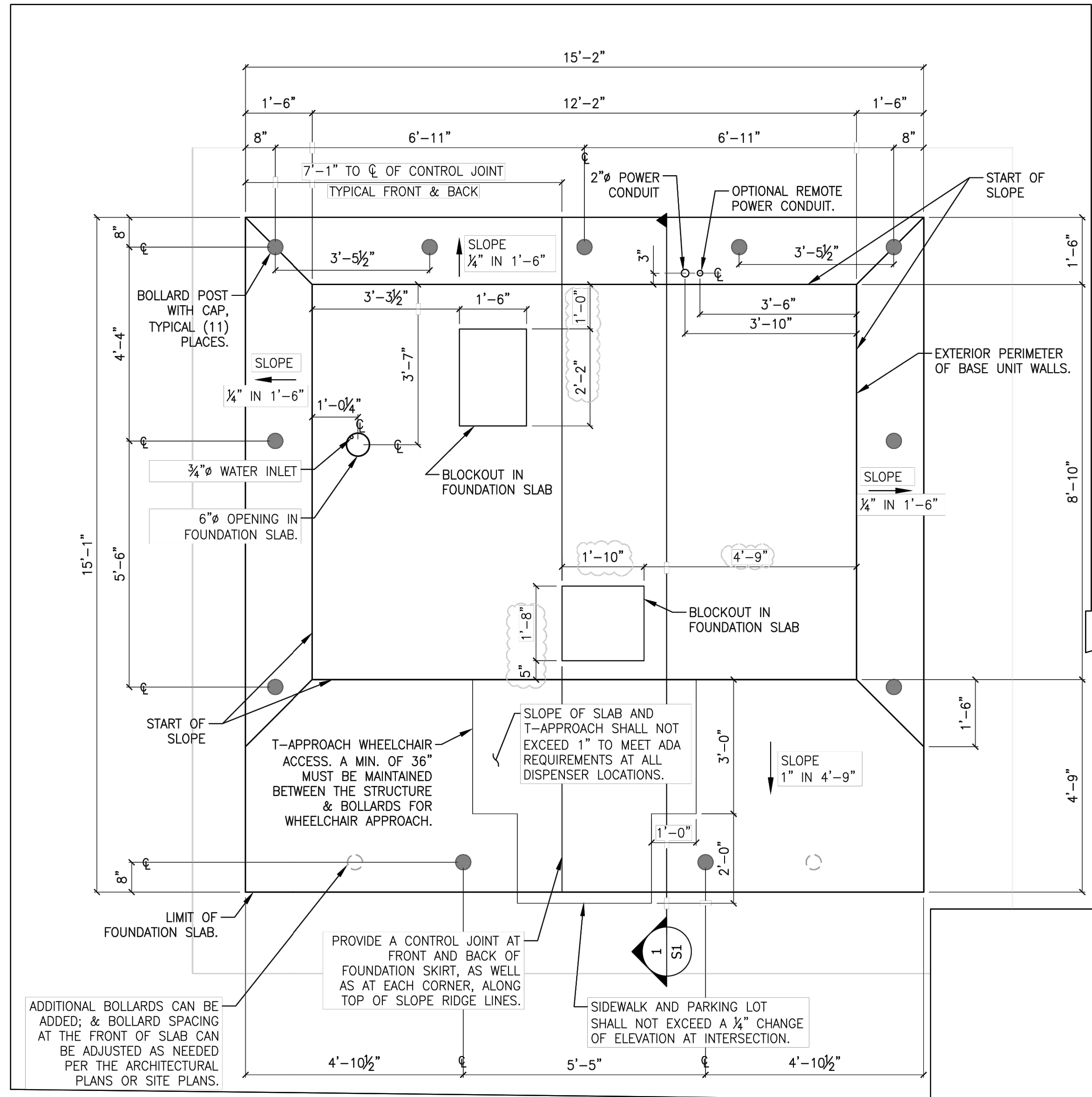
5000 SERIES PROTOTYPE



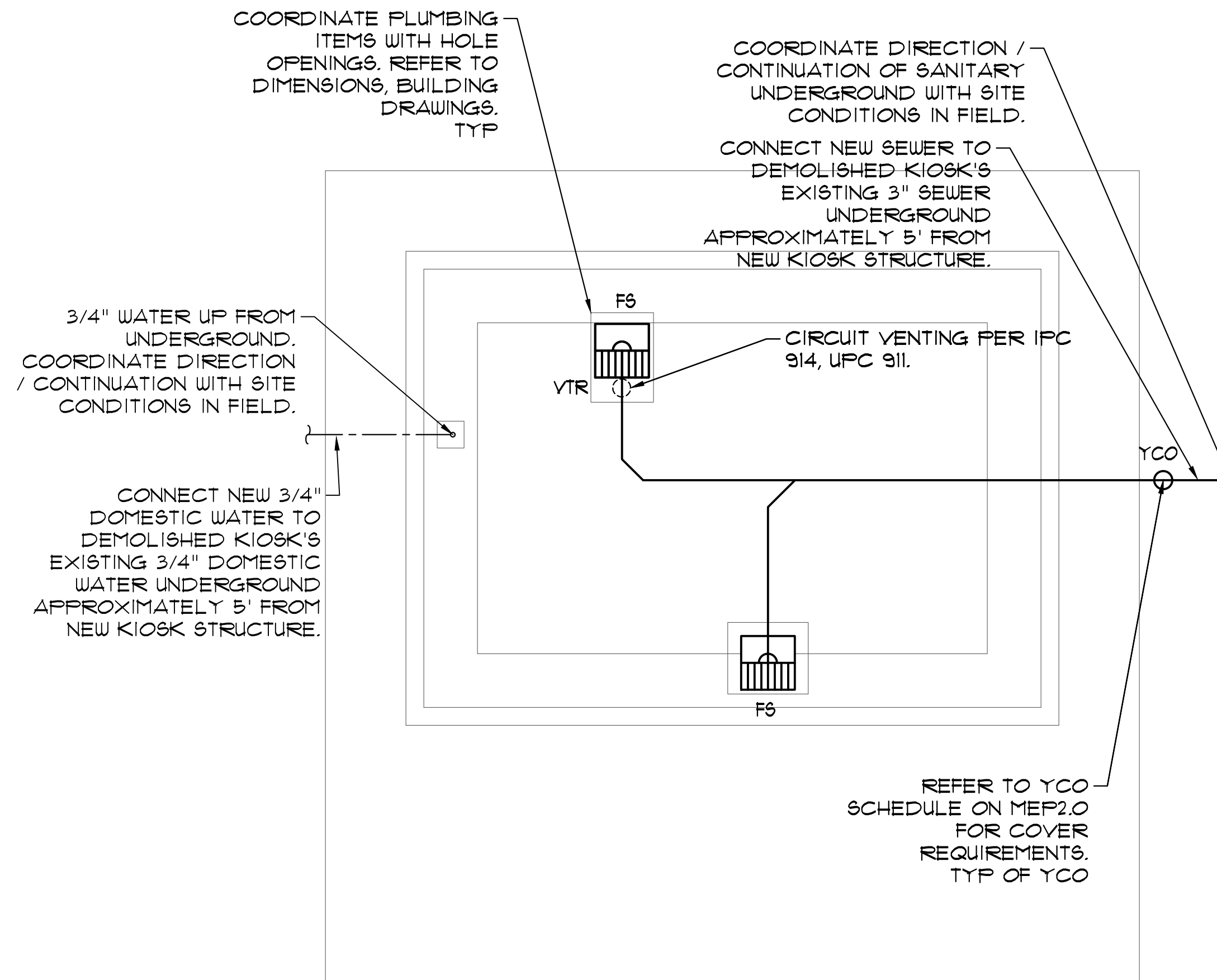
③ PLUMBING WATER RISER
SCALE: NTS



④ PLUMBING WASTE RISER
RIGHT WASTE EXIT
SCALE: NTS



② GRAVITY PLUMBING
DIMENSION PLAN
SCALE: 1/2"=1'-0"



① GRAVITY PLUMBING PLAN
RIGHT WASTE EXIT
SCALE: 1/2"=1'-0"

PLUMBING SYMBOLS	
SYMBOL	DESCRIPTION
	SANITARY SEWER PIPING
	VENT PIPING
	COLD WATER PIPING
	HOT WATER PIPING
	HOT WATER RETURN PIPING
	NATURAL GAS PIPING
	CHANGE IN PIPE ELEVATION
	FLOOR DRAIN
	FLOOR SINK
	CLEANOUT
	WALL CLEANOUT
	FLOOR CLEANOUT
	YARD CLEANOUT
	HOSE BIBB
	BALL VALVE
	PLUMBING FIXTURE DESIGNATION SEE PLUMB FIXT. CONN. SCHED.
	PLUMBING FIXTURE DESIGNATION SEE PLUMB FIXT. CONN. SCHED.
	PLUMBING FIXTURE DESIGNATION
	BELOW FLOOR
	UNDER GRADE
	ABOVE FINISHED FLOOR
	ABOVE CEILING
	AIR CHAMBERS

PLUMBING PRESSURE CALCULATIONS (PER UPC)										
Non piping losses	Description	PSI								
	Pressure at main (Estimated)	75								
	Highest pressure at fixture (per A104.1)	8								
	Meter (3/4" Disc per A102.2)	1								
	Tap loss in main	0.1								
	Static head (5'x0.43)	2.15								
	Backflow Preventor (Watts 909)	13								
	Total pressure loss	24.25								
	Pressure to overcome pipe friction	50.75								
Item Cold	Description		FU in section	GPM in section (A103.1(1))	Length of section	Pipe Size	Equal length for fittings	Total equal length	Friction loss psi/100ft (A105.1)	Section friction loss
	WATER MAIN TO RPZ (MAXIMUM)		4	5	85	0.75	42.5	127.5	4	5.1
	RPZ TO FIXTURES		4	5	25	0.75	12.5	37.5	4	1.5
									Total Pressure loss	6.6
									Difference	44.2
BUILDING WATER FIXTURE UNITS (TABLE 610.3)										
		ITEM			TOTAL					
ITEM	QTY	COLD FU	HOT FU	TOTAL FU	COLD FU	HOT FU	TOTAL FU			
Combination fixture-Private-Faucet	1	2.5	0	2.5	2.5	0	2.5			
Drinking fountain-Offices-3/8" valve	3	0.5	0	0.5	1.5	0	1.5			
				TOTAL FU	4	0	4			

DRAINAGE FIXTURE UNITS PER UPC				
TAG	TAG	DFU	QTY	TOTAL
FS	FLOOR SINK - (2) 1 1/2" TRAPS	6	1	6
FS	FLOOR SINK - 1 1/2" TRAP	3	1	3
				0
				9
				TOTAL
Maximum DFU in 3" drainage at 1/8"foot (minimum) slope per UPC table 703.2				35
Maximum DFU in 2" drainage at 1/8"foot (minimum) slope per UPC table 703.2				8
Maximum DFU in 2" vent per UPC table 703.2				24
Maximum 2" vent length per UPC table 703.2				120

GENERAL PLUMBING NOTES

- THE PLUMBING SUBCONTRACTOR SHALL PROVIDE A COMPLETE AND USABLE SYSTEM WITH THE INTENT AND SPIRIT OF THAT INDICATED BY THESE DRAWINGS. WORK OR MATERIALS NOT SHOWN BY THE DRAWINGS, BUT NECESSARY TO COMPLETE THE SYSTEM, SHALL BE INCLUDED AT NO ADDITIONAL COST. THE PLUMBING SUBCONTRACTOR SHALL FURNISH AND INSTALL ALL PLUMBING SYSTEM REQUIREMENTS INCLUDING FIXTURES, WASTE, VENT, GAS AND WATER PIPE, ACCESSORIES, CUTTING AND PATCHING, ETC.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND MAKE ADJUSTMENTS TO AVOID CONFLICT. NOTIFY THE ENGINEER IN WRITING OF SIGNIFICANT CONSTRUCTABILITY ISSUES.
- THE PLUMBING SUBCONTRACTOR SHALL VERIFY PLACEMENT OF ALL FIXTURES, EXISTING PIPE, MECHANICAL EQUIPMENT, AND RELATED WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND TRADES BEFORE ROUGHING IN.
- MINOR VARIATION IN PIPING TO AVOID CONFLICT WILL BE ACCEPTED. NOTIFY THE ENGINEER IN WRITING OF SIGNIFICANT CONSTRUCTABILITY ISSUES.
- IF DEMOLITION OF EXISTING BUILDING COMPONENTS WHICH ARE TO REMAIN IS REQUIRED, COORDINATE RESTORATION OF DISTURBED FINISH WORK (E.G. FLOOR SLAB, FLOOR FINISHES, ETC.) WITH GC.
- LOCATIONS OF EXISTING PIPE INDICATED ON THIS DRAWING ARE BASED ON RECORDS WHICH MAY BE INACCURATE. THE PLUMBING SUBCONTRACTOR SHALL FIELD VERIFY ADJUST IF REQUIRED, AT NO ADDITIONAL COST.
- FIELD VERIFY EXISTING WASTE PIPE INVERTS AND ADEQUACY OF NEW WASTE PIPE FALL. NOTIFY ENGINEER IN WRITING IF CONFLICTS EXIST.
- ALL MATERIALS WILL BE NEW AND IN NEW CONDITION.
- ALL WORK SHALL COMPLY WITH COGNIZANT CODES, REGULATIONS, LAWS AND THE DETERMINATIONS OF THE LOCAL BUILDING OFFICIAL AT NO EXTRA COST. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY CONFLICT BETWEEN THE PLANS AND APPLICABLE CODES.
- WHEN SYSTEMS ARE COMPLETE AND OPERATIONAL, A "PUNCH LIST" INSPECTION SHALL BE REQUESTED BY THE CONTRACTOR. SUCH AN INSPECTION SHALL NOT BE CONDUCTED ON INCOMPLETE OR NON-OPERATIONAL SYSTEMS.
- SUPPORT ALL PIPE PER CODE WITH CLEVIS HANGERS, UNISTRUT OR SIMILAR. PLUMBERS TAPE WILL NOT BE ACCEPTED. CLEVISES FOR WATER PIPE SHALL BE COPPER.

- INSULATE ALL WATER PIPE ABOVE GROUND WITH FOAM PIPE INSULATION AND ALL PURPOSE JACKET. 1"THICK 4 PCF FOR 1/2" - 1-3/4" PIPE SIZE.
- ALL WATER VALVES SHALL BE 2-PIECE BALL VALVES, BRONZE BODY, SS BALL. INSTALL A UNION WITH EACH VALVE.
- ABOVE FLOOR PLUMBING MATERIALS:
WATER PIPE SHALL BE OF MATERIAL LISTED IN TABLE BELOW.
WASTE/VENT PIPE SHALL BE OF MATERIAL LISTED IN TABLE BELOW.
- BELOW GROUND PLUMBING MATERIALS:
WATER PIPE SHALL BE OF MATERIAL LISTED IN TABLE BELOW.
WASTE/VENT PIPE SHALL BE OF MATERIAL LISTED IN TABLE BELOW WITH BELL AND SPIGOT PLACED IN A CLEAN SAND BED.
MINIMUM UNDERGROUND BUILDING DRAIN SIZE IS TO BE AS INDICATED IN CALCULATIONS.
- COLORLED PRIMER AND COLORLED GLUE SHALL BE USED ON ALL PVC PIPING OR A STACK TEST SHALL BE PERFORMED
- PEX PIPING (IF LISTED IN ALLOWABLE MATERIALS) SHALL BE INSTALLED AS A SYSTEM PIPE. FITTINGS, "RINGS" SHALL ALL BE FROM THE SAME VENDOR & BE COMMERCIAL GRADE. (VIEGA OR EQUAL)

ALLOWABLE WATER MATERIALS

USE	PVC SCH 40	COPPER K	COPPER L	PEX	POLY
SERVICE LINE	NO	NO	NO	YES	NO
CU ABOVE FLOOR	NO	NO	NO	YES	NO
CU BELOW GROUND	NO	YES	NO	NO	NO
HU ABOVE FLOOR	NO	NO	NO	YES	NO
HU BELOW GROUND	NO	YES	NO	NO	NO

ALLOWABLE WASTE/VENT MATERIALS

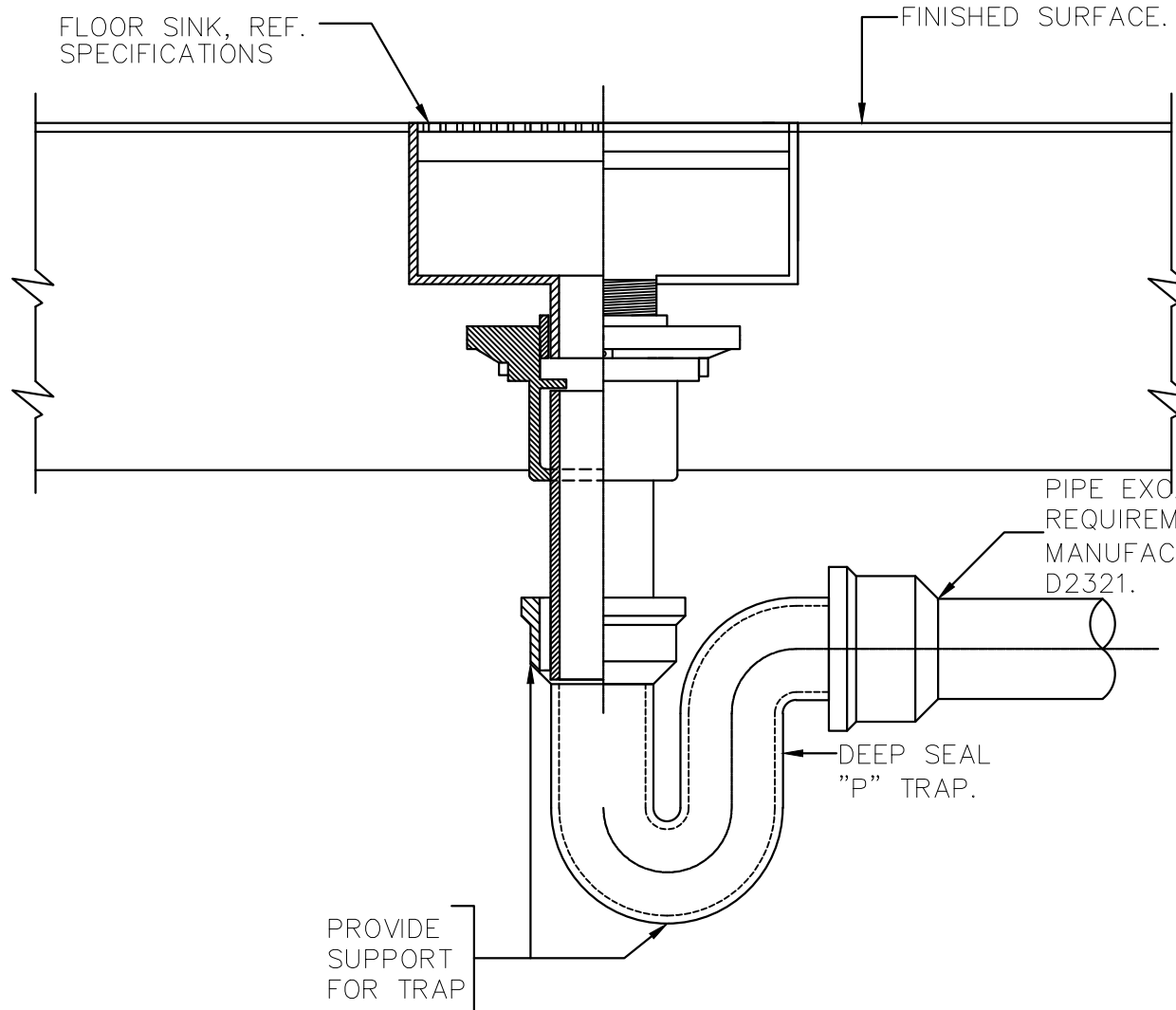
USE	CAST IRON	PVC DWV	PVC SOLID CORE	COPPER DWV
WASTE ABOVE FLOOR	NO	NO	YES	NO
WASTE BLW GROUND	NO	NO	YES	NO
VENT ABOVE FLOOR	NO	NO	YES	NO
VENT BELOW GROUND	NO	NO	YES	NO
CONDENSATE (NON-HVAC)	NO	NO	YES	NO

- NOTES:
- NO SUBSTITUTIONS. NO MATERIALS NOT LISTED.
 - PEX PIPE TO BE JOINED IN A PROCESS/FITTING IAW CODE AND MFG.
 - NOT USED.
 - COPPER PIPE TO BE SOLDERED USING LEAD FREE SOLDER OR PROPRESS FITTING.
 - PEX SHALL BE FROM SINGLE VENDOR.

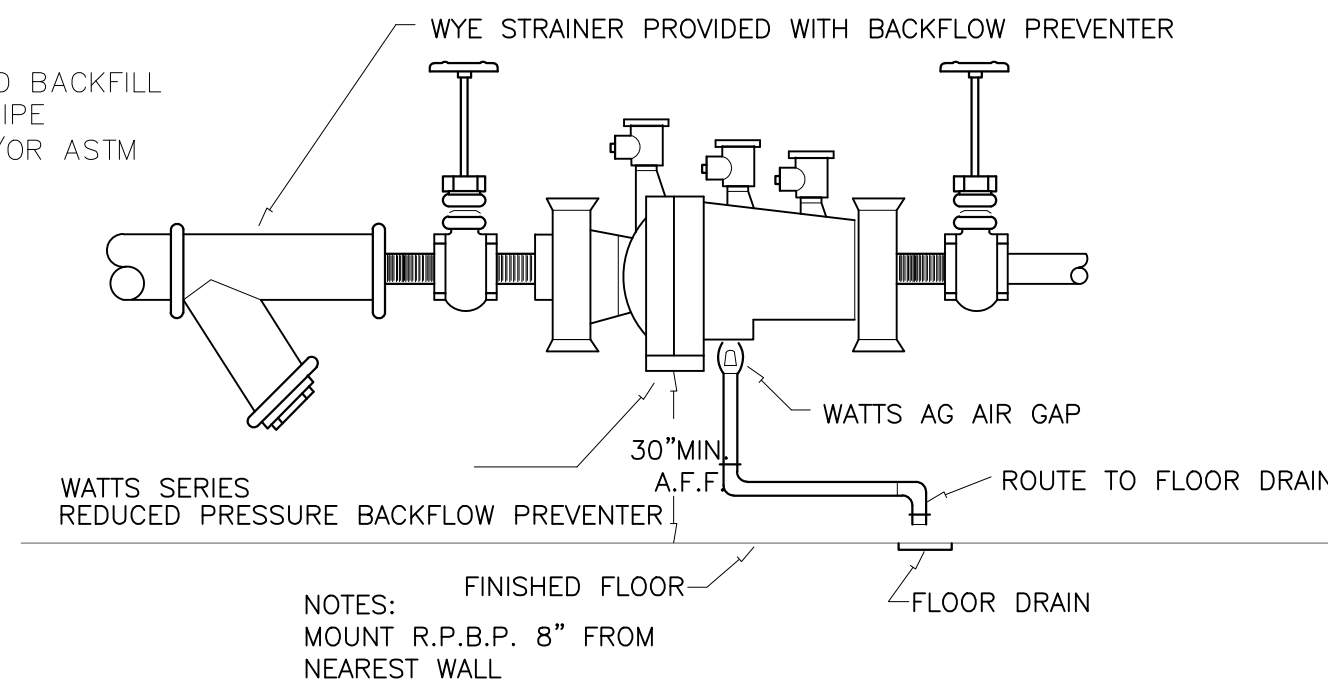
PLUMBING FIXTURE SCHEDULE

FS	FLOOR SINK: 12x12" OATEY FLOOR SINK WITH 2" PVC FLOOR SINK DRAIN (OR EQUIVALENT).
YCO	YARD CLEANOUT: FOR NON-TRAFFIC AREAS, USE COUNTERSUNK CLEANOUT PLUGS, REFERENCE IPC CORPORATION 68516. FOR VEHICULAR TRAFFIC AREAS, USE TRAFFIC GRADE CLEANOUT COVER, CAST IRON, REFERENCE BASS & HAYES BH 404.
RPZ	REDUCED PRESSURE ZONE VALVE: WATTS LF009 WITH STRAINER SIZE TO MATCH WATER LINE.
HB	HOSE BIB (INDOOR USE): HOSE BIB WITH VACUUM BREAKER, REFERENCE 3/4" ZURN 195XL SERIES LEAD FREE CAST BRONZE ASTM B584 WITH ZURN MODEL BFF HOSE CONNECTION VACUUM BREAKER, OR EQUAL.

NOTE ON TRAP PRIMER / PROTECTION: THE WATER FILTRATION OPERATES 24 HOURS PER DAY. ITS REVERS OSMOSIS AUTO FLUSH VALVE FEATURE RUNS AUTOMATICALLY EVERY HOUR FOR TWO MINUTES AT RATE OF 2 GPM DISCHARGE TO DRAIN. THIS FEATURE ACTS AS A TRAP PRIMER.



2 FLOOR SINK INSTALLATION DETAIL
SCALE: NTS



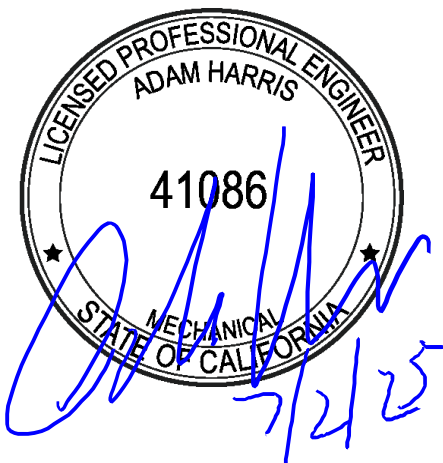
1 REDUCED PRESSURE BACKFLOW PREVENTER
SCALE: NTS

Root Engineering Services

RES

Mechanical, Electrical & Plumbing Systems Consultant

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TEXAS PROFESSIONAL ENGINEERING DESIGN FIRM #12016



CLIENT
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IRVING, TX 75061
(214) 727-3420

PROJECT
WATER VENDING MACHINE
WATERMILL EXPRESS
3239 SIERRA ST.
RIVERBANK, CA

DRAWING ISSUE / REVISION		
Rev. No.	Description	Date
1	FOR PERMIT	07/01/2025

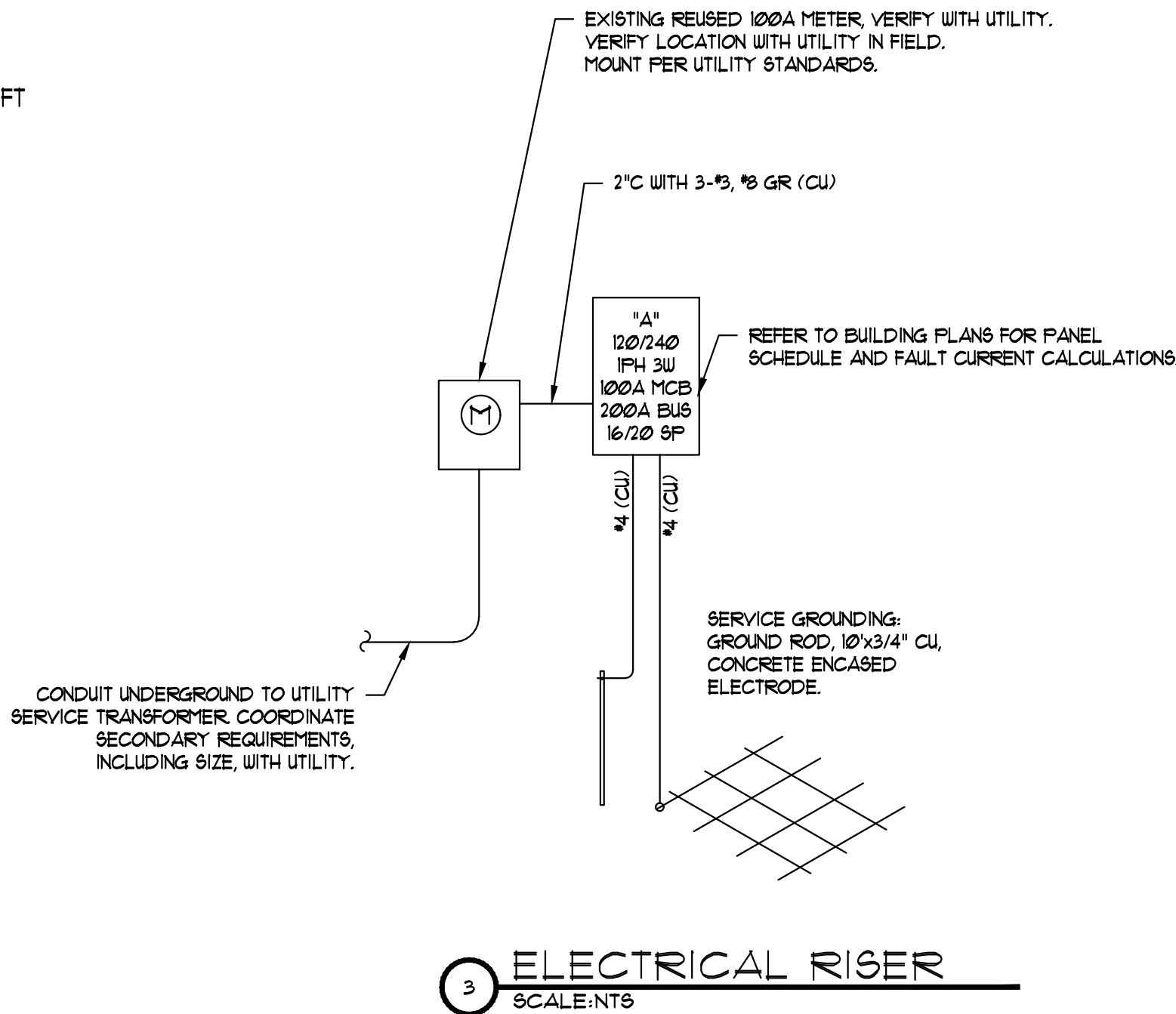
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PLUMBING SCHEDULES
NOTES AND DETAILS

Drawing No.		MEP2	
Scale		Drawn By	CB
		Check By	AH/ET
		Consult Job No.	250173

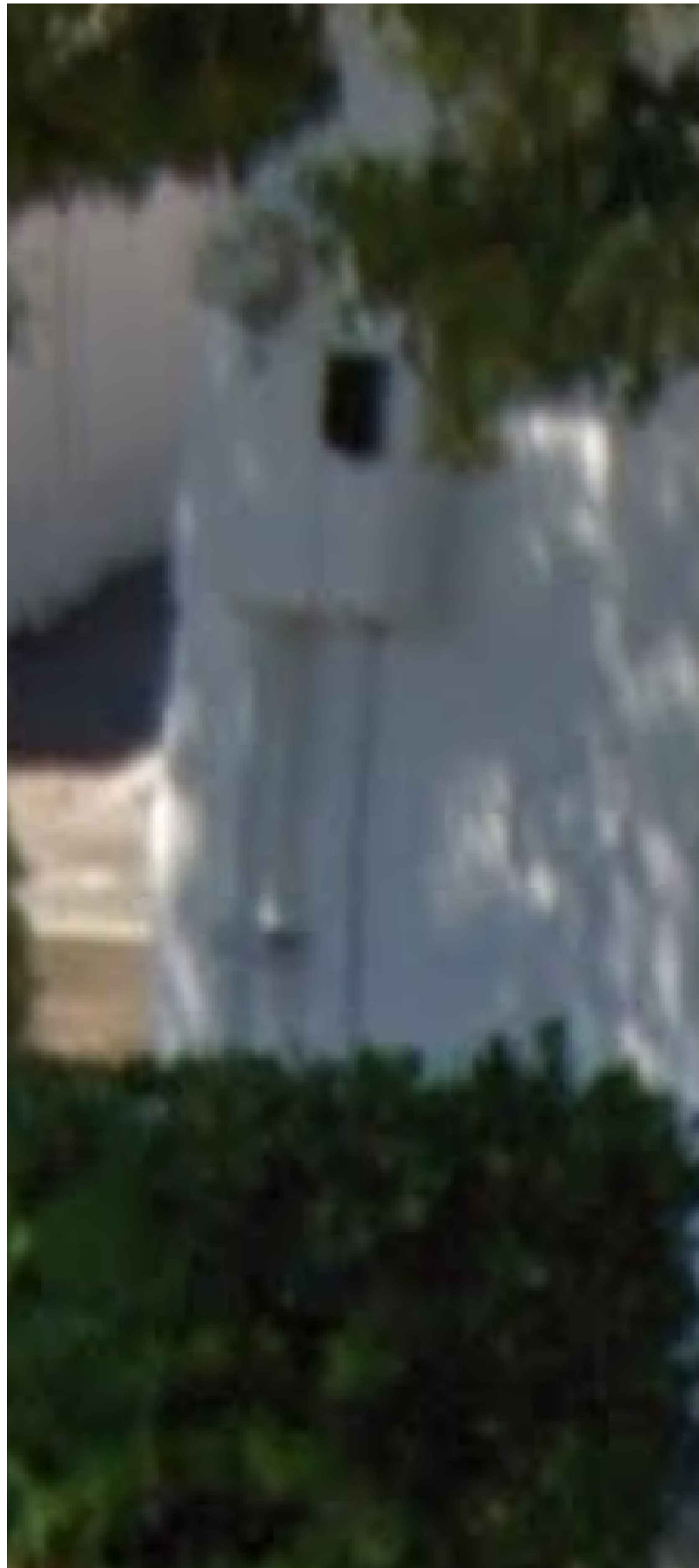
VOLTAGE DROP CALCULATIONS

VOLTAGE: 240/120V 1Ø, AMP: 11A, NON-STEEL CONDUIT.
ESTIMATED DISTANCE FROM UTILITY TRANSFORMER TO POWER PANEL: 127 FT
SIZE #3 (CU) MAXIMUM TOTAL DISTANCE AT 2% VOLTAGE DROP: 129 FT
SIZE #1 (AL) MAXIMUM TOTAL DISTANCE AT 2% VOLTAGE DROP: 101 FT

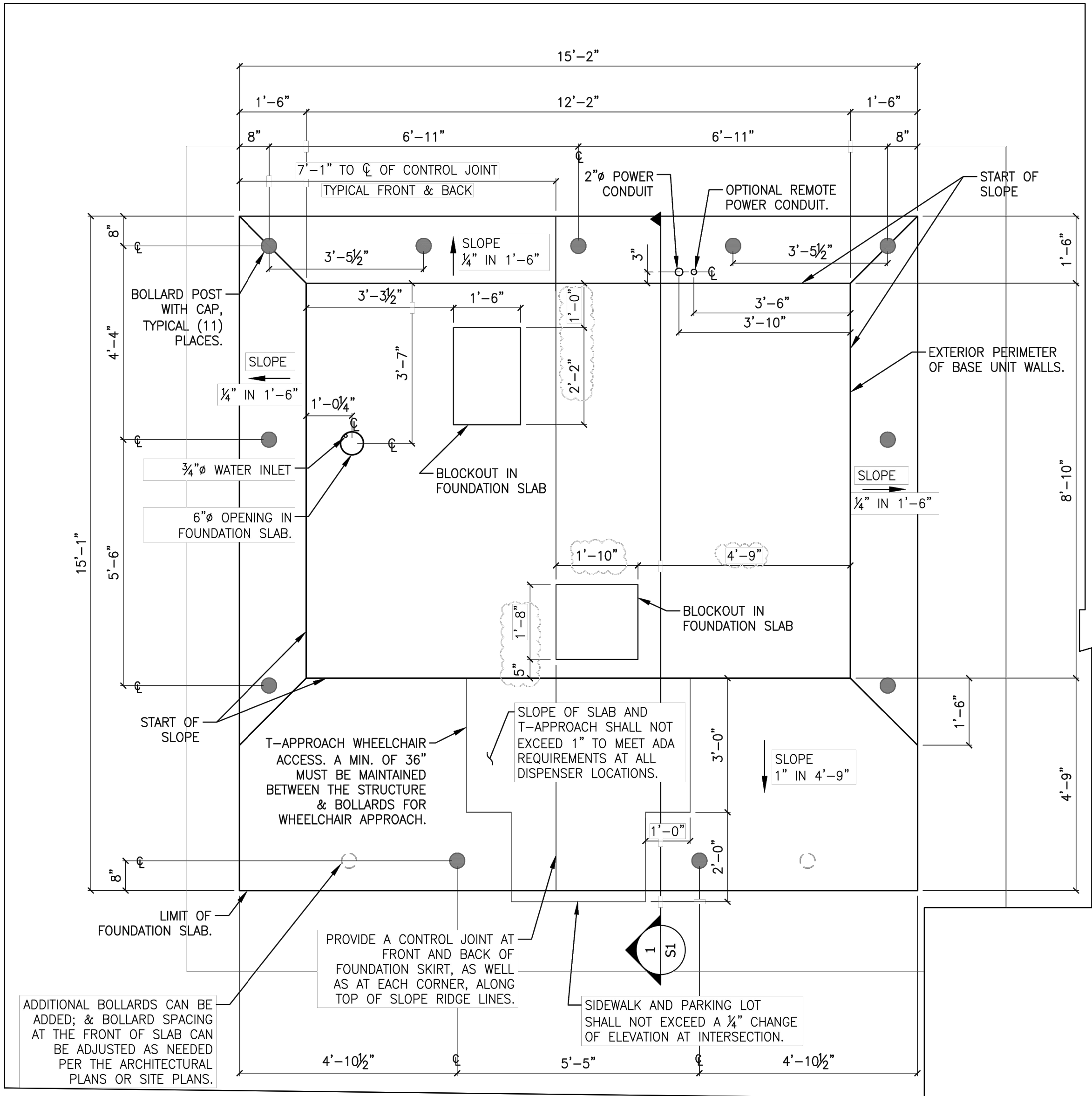


GENERAL ELECTRICAL NOTES DESIGN BASED ON NEC

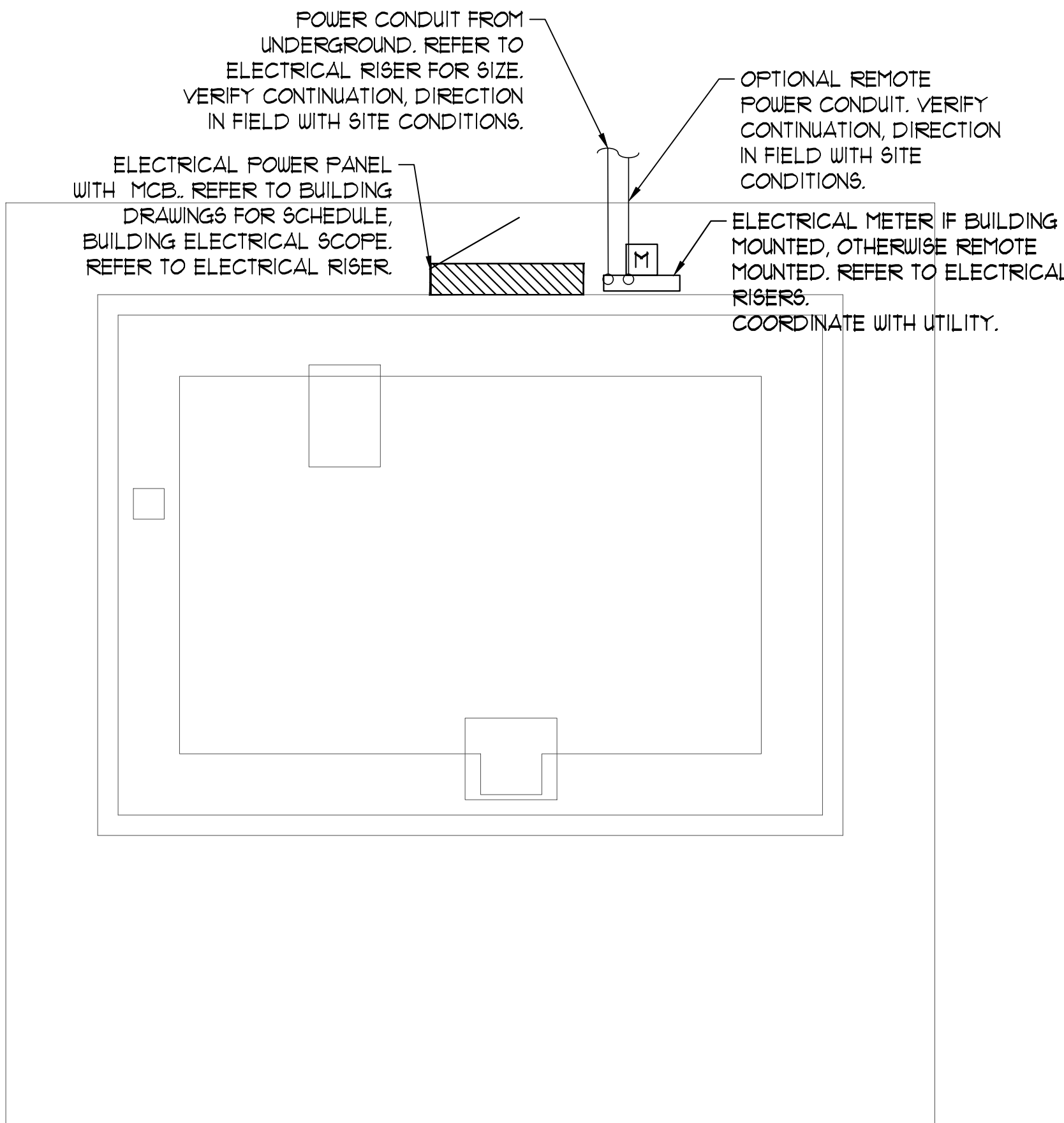
- THE ELECTRICAL SUBCONTRACTOR SHALL PROVIDE A COMPLETE AND USABLE SYSTEM WITHIN THE INTENT AND SPIRIT OF THAT INDICATED BY THESE DRAWINGS. WORK OR MATERIALS NOT SHOWN BY THE DRAWINGS, BUT NECESSARY TO COMPLETE THE SYSTEM SHALL BE INCLUDED AT NO ADDITIONAL COST. THE ELECTRICAL SUBCONTRACTOR SHALL FURNISH AND INSTALL ALL ELECTRICAL SYSTEM REQUIREMENTS INCLUDING SWITCHES, RACEWAY, DEVICES, CONDUCTOR, SPECIALTIES, CUTTING AND PATCHING, ETC.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, MAKE ADJUSTMENTS TO AVOID CONFLICT, NOTIFY THE ENGINEER IN WRITING OF SIGNIFICANT CONSTRUCTABILITY ISSUES.
- TELEPHONE/DATA OUTLETS, UNLESS NOTED, SHALL BE CIRCUITED BY OTHERS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE A CONDUIT TO AN ACCESSIBLE SPACE.
- THE ELECTRICAL SUBCONTRACTOR SHALL VERIFY PLACEMENT OF ALL RECEPTACLES, WIRING DEVICES, SWITCHES, AND DISCONNECTS WITH ARCHITECTURAL, MECHANICAL AND PLUMBING DRAWINGS AND TRADES BEFORE ROUGHING IN.
- WIRING MEANS AND METHODS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR. THE ELECTRICAL SUBCONTRACTOR SHALL VERIFY CEILING TYPE WITH FIXTURE SELECTION BEFORE ORDERING.
- CONDUCTOR SHALL BE THIN, THIN, OR THIN. CONDUIT SHALL BE SCH 40 PVC, GALV. EMT, IMC OR RIGID.
- EQUIPMENT SIZES ARE AS DESIGNED. CIRCUIT BREAKERS, CONDUIT, JUNCTION BOXES, DISC. SWITCHES, CONDUCTOR SIZES, DEVICE LOCATIONS, ETC., SHALL BE ADJUSTED TO THE EQUIPMENT SUBMITTED AND APPROVED FOR INSTALLATION ON THIS PROJECT.
- ALL WORK SHALL COMPLY WITH COGNIZANT CODES, REGULATIONS, LAWS AND THE DETERMINATIONS OF THE LOCAL BUILDING OFFICIAL AT NO EXTRA COST. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY CONFLICT BETWEEN THE PLANS AND APPLICABLE CODES.
- ALL MATERIALS WILL BE NEW AND IN NEW CONDITION.
- WHEN SYSTEMS ARE COMPLETE AND OPERATIONAL, A "PUNCH LIST" INSPECTION SHALL BE REQUESTED BY THE CONTRACTOR. SUCH AN INSPECTION SHALL NOT BE CONDUCTED ON INCOMPLETE OR NON-OPERATIONAL SYSTEMS.
- ALL ELECTRICAL WIRING ON THE BUILDING SHALL BE IN SCH 40 PVC, IMC, RMC, OR EMT, IN ACCORDANCE WITH LOCAL CODE AMENDMENT. ALL EXTERIOR WIRING SHALL BE BURIED IN CONDUIT APPROVED FOR THE ENVIRONMENT IN ACCORDANCE WITH LOCAL CODE AMENDMENT.



5 PHOTO - EXISTING METER
SCALE: NTS



Fault Calculations								
(UTILITY) TRANSFORMER	VOLTAGE AND PHASE	ASSUMED KVA	FULL LOAD AMPS	ASSUMED % IMPEDANCE	SHORT CIRCUIT AMPS			
	120/240V 1ph	100	417	1.6	42472			
Fault Current transformer to MDP								
CONDUCTOR	DISTANCE (FT)	INITIAL FAULT CURRENT	WIRE SIZE	# OF SETS OF WIRES	VOLTAGE	EMT OR NONMAGNETIC	PHASE Ø	FINAL FAULT CURRENT
COPPER	127	42472	3	1	240	Nonmagnetic	1	4106.322387



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TEXAS PROFESSIONAL ENGINEERING DESIGN FIRM #12016



Aiden Nampumwa

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(214) 727-3420

PROJECT
WATER VENDING MACHINE
WATERMILL EXPRESS
3239 SIERRA ST.
RIVERBANK, CA

DRAWING ISSUE / REVISION		
Rev. No.	Description	Date
1	FOR PERMIT	07/01/2025

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Drawing Title

ELECTRICAL PLANS
SCHEDULES NOTES AND DETAILS

Drawing No.			
MEP3			
Scale	Dwg By	Check By	AMET
	CB		
	Comp. Job No.		250173

EXHIBIT “B”

CONDITIONS OF APPROVAL

Architecture and Site Plan Review Application No. 08-2025 (Dept. File No. 25-0031) – Watermill Express

This project is subject to the following conditions unless specifically exempted, as determined by the Community Development Director or his/her designee.

A. GENERAL CONDITIONS

1. The subject entitlement shall be null and void 24 months from the date of final approval thereof unless prior to such expiration date, a valid building permit is in effect for the construction of necessary buildings or appurtenances of the review. The Planning Commission may defer expiration of the permit for a period not exceeding one year upon application, in writing, by the owner of the property prior to expiration provided such use is still permitted in the district in which it is proposed to be located.
2. Either (1) a Certificate of Merger shall be recorded for the project site prior to issuance of a building permit, or (2) the building permit plans shall clearly show that the proposed development can be accommodated within the boundaries of the legal parcel on which it is located.
3. The operator shall maintain a valid business license.
4. All landscaped areas shall be maintained in an attractive condition. The premises shall be kept free of weeds, trash, and other debris. Dead or dying plants shall be replaced with materials of equal size and similar variety within 30 days, at the property owner's expense.
5. On-site parking shall be maintained. All driveways, drive aisles, and vehicle parking areas shall be paved and maintained in accordance with all applicable City of Riverbank standards.
6. This approval is dependent upon and limited to the proposals and plans contained, supporting documents submitted, presentations made to staff, Planning Commission and/or City Council as affirmed to by the applicant. Any variation from these plans, proposals, supporting documents or presentations is subject to review and approval prior to implementation.
7. The applicant shall secure and comply with all applicable federal, state and local licenses, permits, authorizations, conditions, agreements, and orders prior to or during construction and operation, as appropriate.
8. The applicant shall comply with all regulations and code requirements of the Community Development Director, City Engineer, Building Official, Modesto Regional

Fire Authority, Stanislaus Consolidated Fire Protection District, the Police Chief and any other agencies requiring review of the project. If required, these agencies shall be supplied copies of the final maps, site plans, public improvement plans, grading plans and building plans.

9. All conditions of approval for this project shall be written by the project developer on all building permit plan check sets submitted for review and approval. These conditions of approval shall be on, at all times, all grading and construction plans kept on the project site. It is the responsibility of the building developer to ensure that the project contractor is aware of, and abides by, all conditions of approval. Prior approval from the Community Development Director must be received before any changes are constituted in site design, grading, building design, building colors or materials, etc.
10. Site development plans shall be in substantial conformance to the approved site plan and must be submitted, in English units, to the City Engineering Department for review and approval. Maps shall be prepared, wet signed and sealed by a civil engineer, land surveyor, or architect registered in the State of California and licensed to prepare site development plans.
11. The applicant shall take all necessary measures to ensure that his activities or those of his agents do not result in measurable erosion of soils on the site, either wind or water, during the construction and operation of the project covered by this approval.
12. Should the project be found, at any time, not to be in compliance with any of the Conditions of Approval, or should the applicant construct or operate this development in any way other than specified in the Application or Supporting Documents or presentations to staff, Planning Commission or City Council, as modified by the Conditions of this Approval, then the terms of this Approval shall be considered to be violated.
13. Work done by a contractor pursuant to this approval shall not begin before the contractor has been shown by the applicant a copy of this permit.
14. The hours of construction, including equipment warm-up, shall be limited to 7:00 a.m. -6:30 p.m. on weekdays and 8:00 a.m. - 5:00 p.m. on weekends and legal holidays.
15. All new construction requires building permits in accordance with all applicable building and fire codes and submission of a plot and grading plan prepared by a registered professional civil engineer showing property lines, building locations, topography and such other data as required by the Community Development Department.
16. All geologic hazards must be plotted on a plot plan, and habitable structures shall comply with the restrictions specified in all applicable building and fire codes.
17. All necessary utility easements shall be retained or reserved.
18. Approval of this application does not constitute approval of any other entitlement or any other necessary permit, license, or approval.

19. The developer shall pay all applicable processing fees, permit fees, City development fees, fire fees, school fees, drainage fees and other public entity fees in effect at the time of the issuance of the applicable permit.
20. With respect to any claim, action or proceeding against the City, its officials, employees or agents relating to the action or inaction of the City in reviewing, approving or denying entitlements of any type, the Developer agrees to indemnify, hold harmless and defend the City and its elected and appointed councils, boards, commissions, officers, agents, employees, and representatives from any and all claims, costs, and liability for claims of damage, for any property damage or personal injury, including death, which may arise as a result of any negligent acts or omissions by Developer or Developer's contractors, subcontractors, agents, or employees in connection with the construction, improvement, or operation, of the Project. Developer agrees to indemnify, hold harmless and defend the City and its officers, agents, employees, and representatives from any and all actions for damages caused or alleged to have been caused by Developer's activities in connection with the Project. This Agreement applies to all damages and claims for damages suffered or alleged to have been suffered arising out of or in connection to any and all Project operations, regardless of whether or not the City prepared, supplied or approved plans or specifications or both for the Project.
21. In the event any legal action or special proceeding is commenced by any person or entity challenging any agreements between Developer and City, any entitlement or component of the Project such as the Project EIR, or any other City approval for the Project (collectively, "Project Litigation"), the Parties agree to cooperate with each other as set forth herein. City may elect to tender the defense of any lawsuit filed and related in whole or in part to Project Litigation. Upon the commencement of Project Litigation, Developer will indemnify and hold harmless the City from all costs and expenses incurred related thereto, including, but not limited to, damages, attorneys' fees and expenses of litigation awarded to the prevailing party or parties in such litigation. Developer shall pay all litigation fees to the City within thirty (30) days of receiving a written request and accounting of such fees and expenses from the City. Notwithstanding the aforementioned, City may request a deposit to cover City's reasonably anticipated Project Litigation fees and costs, and Developer will provide such deposit to City within seven (7) days of any such request.
22. It is required by State Law (Business and Professional Code Section No. 5537 & 5538 and Section 302(b) of the Uniform Building Code) that all commercial buildings, new or existing must have a licensed professional designer (Architect, Civil or Structural Engineer) to design all changes of use or occupancy as well as new construction.
23. This approval may be recalled to the Planning Commission for review at any time due to complaints regarding lack of compliance with conditions of approval, traffic congestion, noise generation, or other adverse operating characteristics. At such time, the Commission may revoke the approval or add/modify conditions approval.

24. It is the responsibility of the applicant or developer to check with each agency for requirements that may pertain to their project.
25. The applicant shall negotiate school mitigation with the appropriate School District before issuance of building permit. Applicant shall present evidence of School District compliance to the City of Riverbank.

B. ARCHITECTURE

26. All vents, gutters, downspouts, flashing, electrical conduits, etc., shall be painted or finished to match the color of the adjacent surface unless otherwise directed by the Planning Commission.
27. Soffits and other architectural elements visible from view but not detailed on the plans shall be finished in a material in harmony with the exterior of the building.
28. Finish quality of exterior design elements including, but not limited to, building façade landscaping shall be subject to approval of the Community Development Director prior to issuance of Certificate of Occupancy.
29. All signs shall be submitted to the Community Development Director for design review in accordance with the sign guidelines of the Downtown Specific Plan (DTSP).
30. All exterior light fixtures shall be shown on plans subject to staff review and approval. All lights attached to buildings shall provide a soft “wash” of light against the wall. All building and parking or yard lights shall conform to City Standards and shall compliment the site and building architecture.

**CITY OF RIVERBANK PLANNING COMMISSION
STAFF REPORT**

ITEM NO:	3.2	October 21, 2025
APPLICATION:	Conditional Use Permit Application No. 05-2025 & Architecture and Site Plan Review Application No. 07-2025 (Dept. File No. 25-0026) – 108 Sports Lounge Request to expand an existing sports bar and modify previously approved use permit conditions that restricted business hours and prohibited dancing and live/loud music.	
OWNER:	Adam Aprim	
APPLICANT:	Nate Wilson	
REPRESENTATIVE:	Stacy Call	
LOCATION/APN:	3119 Atchison Street, between 1st and 2nd Street.	
ASSESSOR’S PARCEL:	132-003-038	
GENERAL PLAN:	Mixed Use (MU)	
ZONING:	Downtown Specific Plan (DTSP), Highway Boulevard	
ENVIRONMENTAL DETERMINATION:	CEQA Exempt – 15301 Existing Facilities	
PROJECT PLANNER:	Teresa McDonald, Senior Planner	
RECOMMENDATION:	Make the required findings for project approval and adopt Resolution No. 2025-016 approving Conditional Use Permit Application No. 05-2025, and Resolution No. 2025-017 approving Architecture and Site Plan Review Application No. 07-2025 based on the discussion below and on the whole of the record provided to the City.	

BACKGROUND

Section 153.361 of the Riverbank Municipal Code (RMC) requires a conditional use permit for the sale of alcoholic beverages. Accordingly, Conditional Use Permit (CUP) No. 05-2006 – Joe Aprim – Ellis Lounge was approved by the Planning Commission on April 18, 2006, to allow onsite sales of alcoholic beverages in 2,015 square-feet of the building located at 3119 Atchison Street, with a maximum occupancy of 161 people. The approved operating hours were Sunday through Thursday from 10:00 am to 10:00 pm and on Fridays and Saturdays from 10:00 am to 12:00 am. Condition of Approval No. G from the CUP prohibited dancing and live or loud music. The existing business is operating under License No. 618824 from the California Department of Alcoholic Beverage Control (ABC). The license types issued for the business include 48 (on-sale

general public premises), 58 (caterer permit), and 77 (event permit). The operating restrictions associated with the license include prohibiting the sale of alcoholic beverages for consumption off the premises, responsibility for keeping the premises free of litter, prohibiting loitering, and limiting the sale of alcoholic beverages to the hours between 9:00 a.m. and 12:00 a.m., Sunday through Thursday, and 9:00 a.m. and 2:00 a.m., Friday & Saturday.

EXECUTIVE SUMMARY

The sports bar is currently utilizing the rear 4,660± square-feet of the existing building and the 430± square foot covered patio and has a maximum occupancy of 236. This project is a request for a new CUP, which will allow the sports bar to utilize the entire 7,200 square foot building for the sale of alcoholic beverages (see Attachment 1 – *Site Plan and Floor Plans*). Modification to the ABC license is required in order to expand the bar. The applicant is not seeking to modify the type of license the bar is operating under. The maximum occupancy will increase to approximately 300 as part of the expansion. The project also includes a request to allow live music, dancing, and to amend the hours of operation to Monday through Sunday from 10:00 am to 1:00 am. An architecture and site plan review is also included for exterior alterations that were previously made to the building (consisting of paint color and signage), and for the 430± square foot covered patio. If this request is approved, CUP No. 05-2006 will become invalid, and a new CUP will take its place and apply to the entire building.

SITE DESCRIPTION

The project site is located at 3119 Atchison Street, between 1st and 2nd Street. It is improved with a 7,200± square foot building with 430± square foot covered patio and paved parking lot with 23 spaces. The site has access onto Atchison Street via an existing driveway and to 1st and 2nd Street via an existing alley located at the rear of the site. The site is surrounded by residential uses to the north across the alley, commercial and residential uses to the east, commercial and residential uses to the south across Atchison Street, and commercial uses to the west.

ISSUES

Three issues have been identified as part of the review of the project, including: (1) improvements to the new bar area that have been completed without a building permit, (2) the need for additional parking due to the increase in capacity, and (3) general concerns from surrounding landowners.

Tenant Improvements

The existing bar made tenant improvements to the front 2,540± square-feet of the building without building permits. Accordingly, if this project is approved, a condition of approval

will be placed on the project requiring building permits to be issued and a Certificate of Occupancy obtained before the additional space can be utilized.

Parking

Section 2.3.3 of the Downtown Specific Plan (DTSP) provides specific parking requirements based on land use category, as stated in the parking provisions. Parking requirements for renovations, enlargements, or use changes apply only to net new floor area and/or the incremental increase in parking demand that accompanies a higher use intensity. Both General Commercial and Corridor Commercial uses require a minimum of two spaces per 1,000 square feet according to the parking provisions chart. Under this standard, the 7,200± square foot building requires a minimum of 15 parking spaces. The DTSP allows non-residential parking requirements to be satisfied on-site, off-site within 800 feet of the project (approximately two City blocks), through payment of a one-time in-lieu fee per required space, or through participation in shared parking arrangements. With 23 on-site parking spaces, the project exceeds the minimum number of spaces required by the DTSP. However, questions have been raised regarding whether this number is adequate to accommodate peak customer demand. Accordingly, the applicant has provided a parking plan outlining how additional parking needs will be addressed should congestion occur (see Attachment 2 – *Parking Lot Plan*). Although the DTSP parking standard is met, the Planning Commission may impose additional operational measures (e.g., valet parking, shared parking agreements, or employee parking off-site) if future on-street congestion becomes problematic. Additionally, a condition of approval has been placed on the project to have the operator discourage patrons and employees from parking on nearby residential streets, including Topeka and High Streets

Noise

One letter from a neighboring landowner at 3204 Atchison has been received, expressing concerns with the noise generated by the bar (see Attachment 3 – *Correspondence*). Upon receiving the letter, Staff called the landowner to discuss his concerns, and he stated that he owns the apartment complex, but does not live in the area and has not been to the bar himself. This project is required to comply with maximum allowable noise levels as set forth in the RMC. Indoor live music shall be limited to a maximum interior sound level consistent with RMC §93.03, and any amplified outdoor events shall require a temporary noise permit. Windows and exterior doors shall remain closed during indoor entertainment. Staff reached out to the Stanislaus County Sheriff as part of the project, who verified that there have been no noise-related complaints received since 2006. Additionally, a condition of approval has been placed on the project, giving the Community Development Director authority to require a noise study if a verified noise complaint is received, and to require the implementation of any measures to reduce noise to allowable levels.

Other Concerns

Aside from noise and parking concerns, a surrounding landowner raised concerns regarding the public hearing notices mailed for the project, the consumption of alcoholic beverages off the premises, and the potential for the bar to operate as an adult entertainment business. The public hearing notices for the project were sent to surrounding landowners in accordance with City code as discussed in the *Public Notice* section of this report. As stated previously, the sale of alcoholic beverages for consumption off the premises is prohibited, and an adult entertainment business, as defined in Chapter 154 of the Zoning Ordinance, would not be permitted at the project site and any the operation of such business on-site would be subject to code enforcement action. The Stanislaus County Sheriff provided a referral response for the project stating Riverbank Police Services responded to nine calls for service in the last two years, which included seven verbal arguments, one physical altercation, and one reported petty theft, and stated that there are no concerns regarding the proposed expansion of the sports bar. Additionally, the applicant has also received three letters of support for the project from Assemblymembers Heath Flora and Juan Alanis, and Stanislaus County Board of Supervisor Buck Condit (see Attachment 3 – *Correspondence*).

GENERAL PLAN CONSISTENCY

The project site is designated as Mixed Use (MU) in City of Riverbank General Plan. The MU designation accommodates neighborhood-scale retail uses, offices, personal and commercial services and other similar uses. This MU designation is the primary category for Riverbank to accommodate neighborhood-serving retail, services, offices, and similar needs as described and planned for in the City's 2005-2025 General Plan. The MU land use classification is anticipated to be mainly non-residential development according to the City's General Plan.

Goal LAND-4, Policy LAND-3.5 of the Land Use Element is to encourage the development and redevelopment of downtown as a mixed-use high-activity area, and Policy LAND-4.3 is to encourage and assist small, locally-owned businesses that wish to locate, expand, or continue to do business in Riverbank. Accordingly, staff believe the proposed use can be found to be consistent with the General Plan.

ZONING ORDINANCY CONSISTENCY

The project site is located within the City's Downtown Specific Plan (DTSP) area and is zoned Highway Boulevard. As outlined in the DTSP, the Highway Boulevard zoning district encourages development that supports retail shops, catering services, eating establishments, and other specialty retail uses, including the sale of goods, food, wine, and similar products. The district allows for General Commercial and Corridor Commercial uses, as well as permitted uses such as amusement centers, indoor entertainment, and performing arts or music venues. Eating and/or drinking establishments serving alcoholic beverages are permitted with a conditional use permit.

The DTSP requires a site plan review as established by the RMC for buildings and related facilities.

Conditional Use Permit

As stated previously, the RMC regulates the sale of alcoholic beverages, including beer and wine, for on- or off-site consumption throughout the City of Riverbank. A conditional use permit allows the City to apply appropriate conditions to the use permit that ensure compliance with the established performance standards, approved activities, and penalties for violations.

In order to be approved, the activity is required to adhere to the following performance standards:

1. That it does not result in adverse effects to the health, peace, or safety of persons residing or working in the surrounding area;
2. That it does not result in jeopardizing or endangering the public health or safety of persons residing or working in the surrounding area;
3. That it does not result in repeated nuisance activities within the premises or in close proximity of the premises, including but not limited to disturbance of the peace, illegal drug activity, public drunkenness, drinking in public, harassment of passersby, gambling, prostitution, sale of stolen goods, public urination, theft, assaults, batteries, acts of vandalism, excessive littering, loitering, graffiti, illegal parking, excessive loud noises, especially in the late night or early morning hours, traffic violations, curfew violations, lewd conduct, or police detentions and arrests;
4. That it does not result in violations to any applicable provision of any other city, state, or federal regulation, ordinance or statute; and
5. That its upkeep and operating characteristics are compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood.

In addition to the performance standards outlined above, the following findings are required for the Planning Commission to approve any use permit:

1. The proposed use is consistent with the general plan, any applicable specific plan, and all applicable provisions of this chapter;
2. The establishment, maintenance or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, and general welfare of the persons residing or working in the neighborhood or to the general welfare of the city;
3. The proposed use is consistent with the purpose of the applicable zoning district or districts; and

4. The proposed use meets the minimum requirements of this title applicable to the use and complies with all other applicable laws, ordinances, and regulations of the city and state.

Section 153.367 of the RMC establishes formal procedures should the applicant violate, fail to meet, or not adhere to the performance standards outlined above. Should the City receive complaints from the public, Police Department, or any other interested parties and verify that violations have occurred or are occurring, the approval of the CUP shall be reviewed by the Planning Commission at a public hearing. The Planning Commission, after receiving public testimony, may add new conditions, amend existing conditions or revoke the CUP.

Architecture and Site Plan Review

As stated previously, any proposed construction or reconstruction of buildings and related facilities within the DTSP area requires site plan review as established by RMC and must adhere to the development standards and design guidelines contained in the DTSP to address building placement and layout, architecture, landscape and open space design, parking location and design, signage location, and design of proposed conditions affecting the function and visual appearance of the project and its surroundings. No changes to the exterior of the building are currently being proposed as part of this request. The architecture and site plan review are included as part of this project for the existing exterior paint colors, signage, and covered patio as shown in Exhibit A of Attachment 5.

In order to approve an architecture and site plan review, the Planning Commission shall make the following findings:

1. The proposed project is consistent with the objectives of the general plan, complies with applicable zoning regulations, planned development, master plan or specific plan provisions, improvement standards, and other applicable standards and regulations adopted by the city;
2. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation;
3. The site layout (orientation and placement of buildings and parking areas), as well as the landscaping, lighting, and other development features, is compatible with and compliments the existing surrounding environment and ultimate character of the area under the general plan; and
4. The proposed architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting, and similar elements, establishes a clear design concept and is compatible with the character of the buildings on adjoining and nearby properties.

Staff believes the project can be found to be consistent with the Downtown Specific Plan and the Riverbank Municipal Code.

ENVIRONMENTAL DETERMINATION

The project will have minimal impact upon the environment and meets all applicable criteria to qualify as categorically exempt from further review under the California Environmental Quality Act (CEQA). The proposed Project meets the criteria of Article 19, Categorical Exemption 15301, Existing Facilities. The project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designation and regulations.

CONDITIONS OF APPROVAL

To ensure compatibility with the surrounding neighborhood and to support the DTSP's goal of preserving a small-town character, the project shall be subject to all Conditions of Approval outlined in Exhibit A of Attachment 4 - *Planning Commission Resolution No. 2025-016 (Conditional Use Permit 05-2025)*.

PUBLIC NOTICE

The Planning Commission hearing notice was published in the Riverbank News on October 8, 2025, and posted at City Hall North and South on October 9, 2025. In addition, the applicant posted a Notice of Development Permit Application at the project site on October 11, 2025. Notice of the Public Hearing was mailed to landowners within 300-feet of the project site, as shown on the latest equalized assessment roll, in accordance with RMC § 153.215 and Cal. Gov't Code § 65091. At the time of writing this Staff Report, the City has not received any additional letters from any landowners aside from the one discussed in the *Issues* section of this report.

RECOMMENDATION

Staff recommends the Planning Commission approve the project, adopting Resolution No. 2025-016 approving Conditional Use Permit Application No. 05-2025, and Resolution No. 2025-017 approving Architecture and Site Plan Review Application No. 07-2025, based on the discussion below and on the whole of the record provided to the City. If the Planning Commission approves the project, the aforementioned Resolutions provide an overview of the findings and actions required for project approval.

ATTACHMENTS

1. Site Plan and Floor Plans
2. Parking Lot Plan
3. Correspondence

4. Planning Commission Resolution No. 2025-016 (Conditional Use Permit Application No. 05-2025)
Exhibit A – Conditions of Approval
5. Planning Commission Resolution No. 2025-017 (Architecture and Site Plan Review Application No. 07-2025)
Exhibit A – Elevations

Respectfully Submitted By: Teresa McDonald, Senior Planner

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SEAL

CONSULTING ENGINEER

AUTHORITY HAVING JURISDICTION

PROJECT#

RIVERBANK, CA 95367

(Enter Client Address)

(Enter Client Address)

PROJECT DETAILS

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THE ANNEX AT
108 SPORTS
LOUNGE
3119 ATCHISON ST
RIVERBANK, CA 95367

APN : 132-03-38
(Enter Client Address)

PROJECT DETAILS		(Enter Project #)
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SUBMITTAL DATE:		
PROJECT REVISIONS		
MARK	DATE	DESCRIPTION

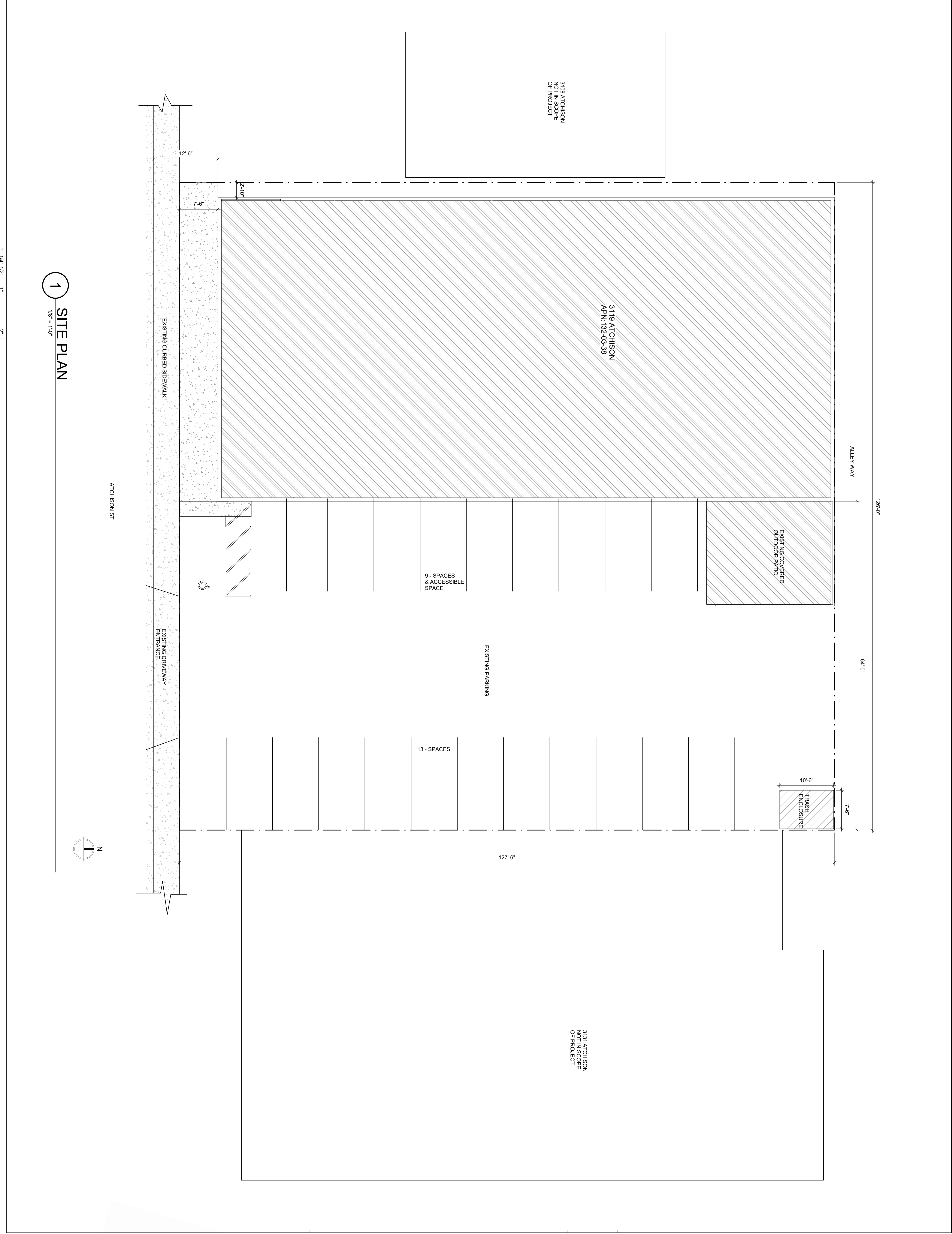
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SITE PLAN

SHEET NUMBER

A1



PROJECT#

**THE ANNEX AT
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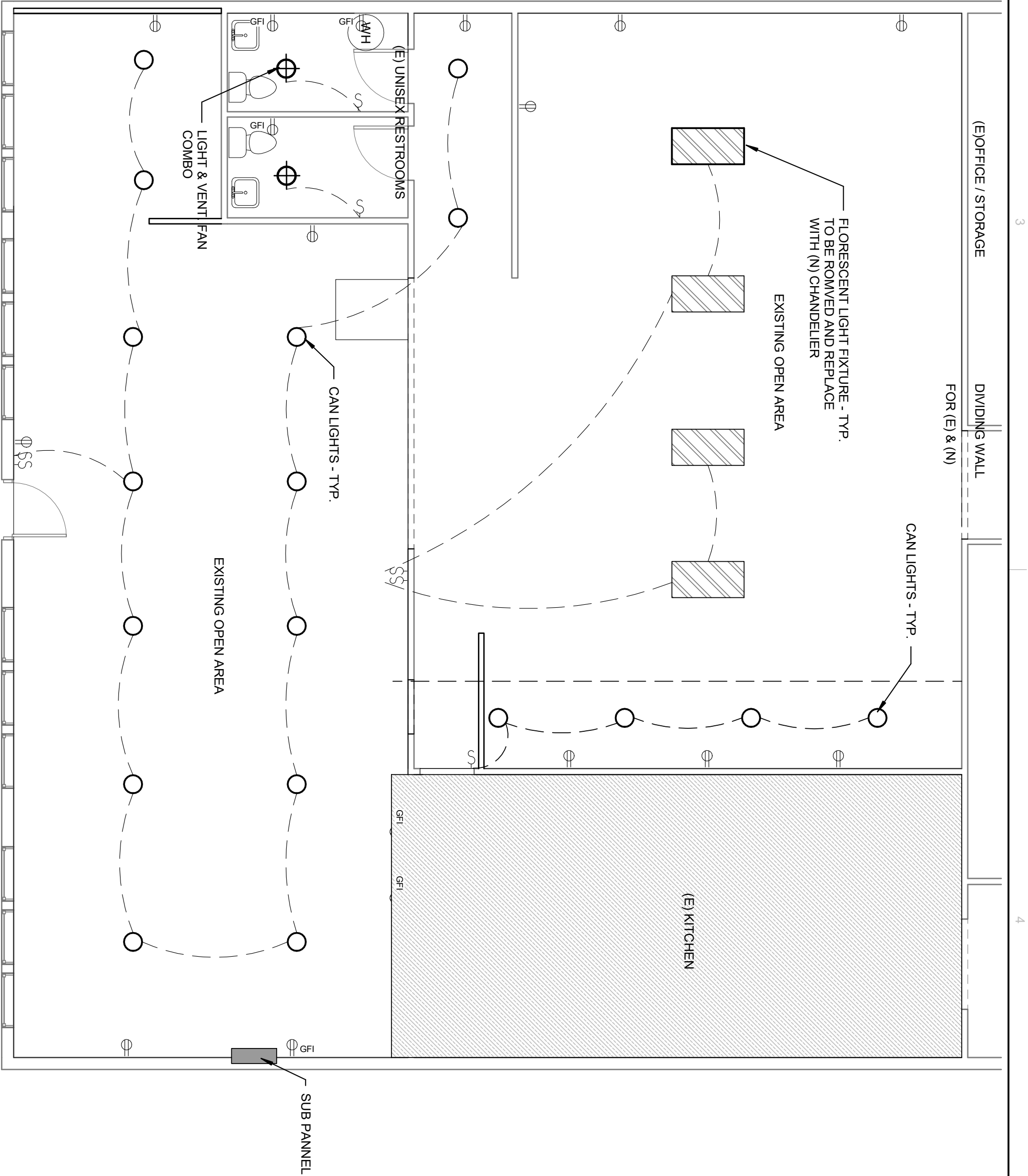
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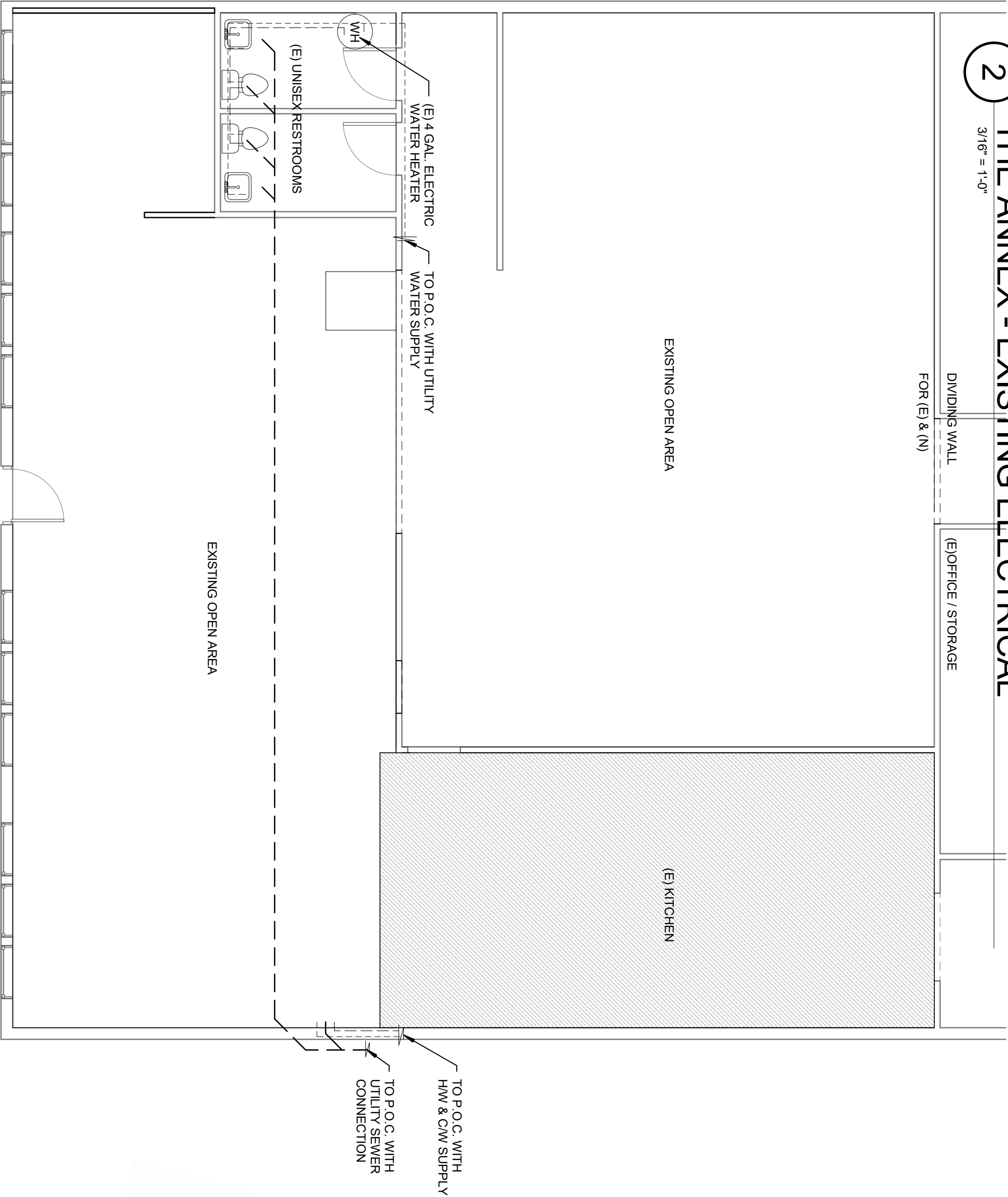
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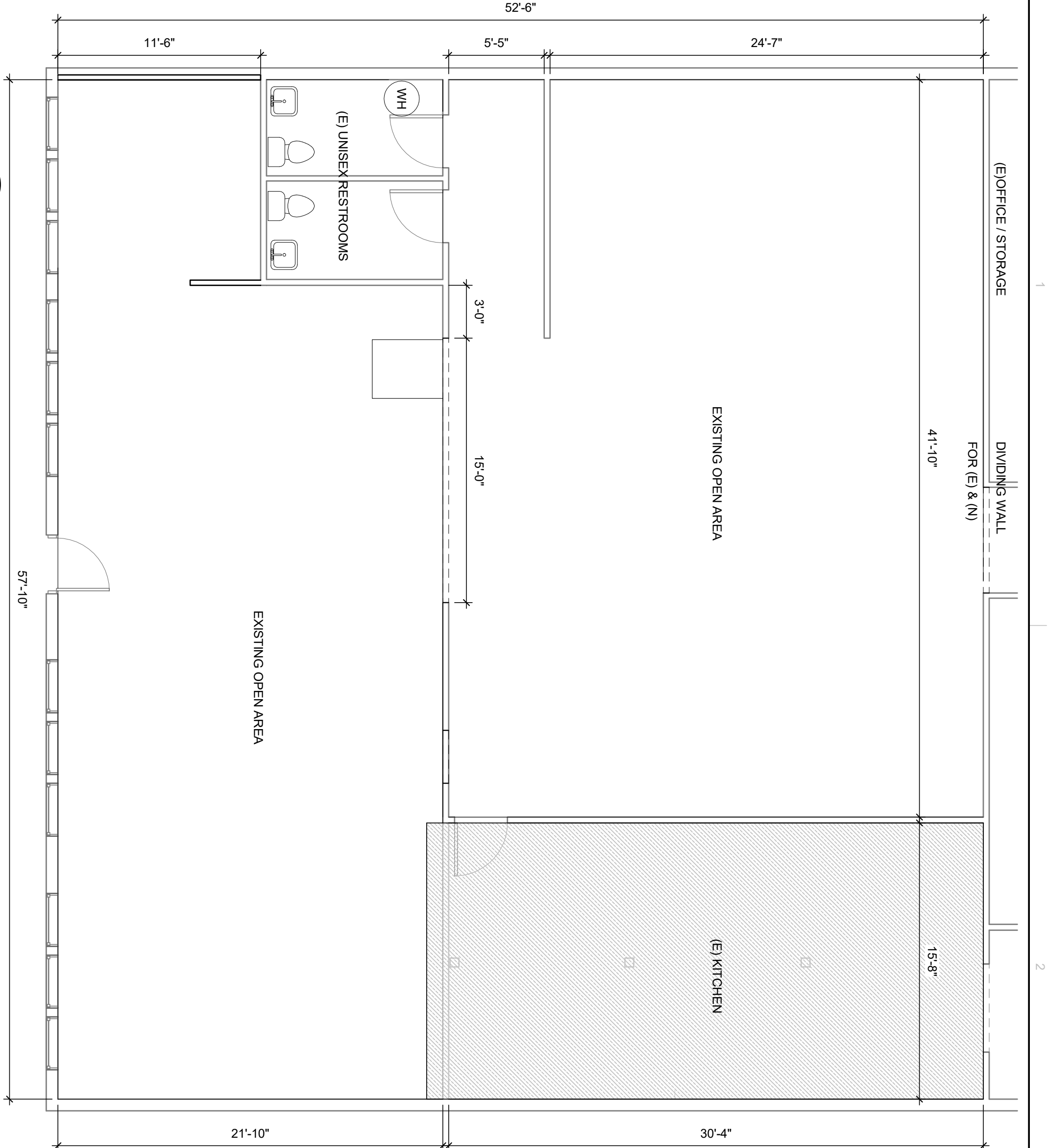
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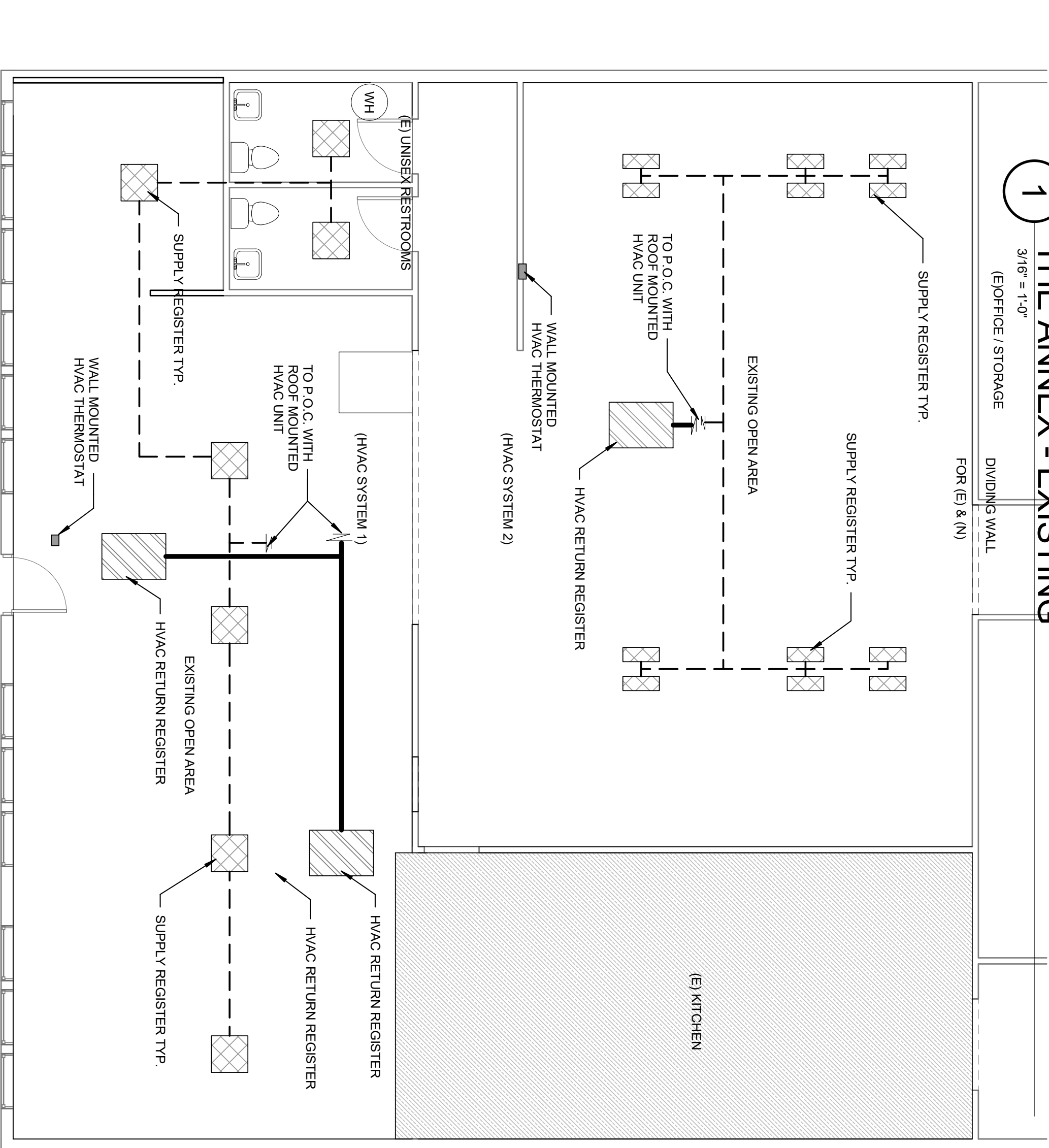
2 THE ANNEX - EXISTING ELECTRICAL
3/16" = 1'-0"



4 THE ANNEX - EXISTING PLUMBING
3/16" = 1'-0"



1 THE ANNEX - EXISTING
3/16" = 1'-0"



3 THE ANNEX - EXISTING MECHANICAL
3/16" = 1'-0"

FLOOR PLAN NOTES

FLOOR PLAN NOTES
ALL GAS OR WOOD-BURNING FIREPLACES WITHIN A DWELLING UNIT SHALL COMPLY WITH THE CALIFORNIA RESIDENTIAL CODE (CRC) AND CALIFORNIA MECHANICAL CODE (CMC) AND LOCAL AMENDMENTS INCLUDING:

- A. THE FIREPLACE OPENING SHALL BE PROVIDED WITH SOLID DOORS SUCH AS GLASS, SOLID STEEL OR CAST IRON.
B. IF THE FIREPLACE IS LOCATED IN A SLEEPING ROOM OR ADJACENT BATHROOM, THE PERMANENT, UNOBSTRUCTED FRESH AIR SUPPLY SHALL BE PROVIDED DIRECTLY FROM THE EXTERIOR OF THE STRUCTURE TO THE FIREBOX.
C. WHEN GAS IS PIPED TO THE FIREPLACE, A CAUTION SIGN SHALL BE INSTALLED THAT READS: "CAUTION: GAS FIRED APPLIANCE".
D. VENT SHALL EXTEND ABOVE ROOF A MIN OF 3'-0" ABOVE THE HIGHEST POINT WHERE IT PASSES THROUGH THE ROOF AND NOT LESS THAN 2'-0" HIGHER THAN A PORTION OF A NEARBY BUILDING.
E. FACTORY BUILT FIREPLACES SHALL BE LISTED & LABELED AND INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING. CRC R1004.1 CONTRACTOR TO SUBMIT THE LISTING INSTALLATION INSTRUCTIONS TO THE FIELD INSPECTOR BEFORE INSTALLING.
& SMOKE DETECTORS SHALL BE INSTALLED AT LOCATIONS REQUIRED BY THE CRC AND SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK UP.

FOAM PLASTIC INSULATION MAY NOT BE EXPOSED IN AN ATTIC SPACE

THE INTERIOR OF A BUILDING SHALL BE SEPARATED FROM FOAM PLASTIC INSULATION BY AN APPROVED THERMAL BARRIER

UNDER NO CIRCUMSTANCES IS THE USE OF WATER RESISTANT GYP BD, "GREEN BOARD" AS A FINISH FOR BATHS, SHOWER STALLS, OR OTHER WET AREAS ALLOWED. WATER RESISTANT GYP BOARD SHALL BE USED ONLY IN FIREPROOF BRAND AND TYPED INTERIOR PANELS RATED FOR DISTURANCE RESISTANCE. SHOWER STALLS SHALL BE FINISHED WITH A HARD, NON ABSORBENT MATERIAL TO A HEIGHT OF 70" ABOVE THE DRAIN INLET.

EVERY SLEEPING ROOM SHALL HAVE AT LEAST 1 OPERABLE EGRESS WINDOW OF NOT LESS THAN 5.7 SQ. FT. AND SHALL BE LOCATED WITH THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR.

PROVIDE A MINIMUM 30" X 22" ATTIC ACCESS OPENING WITH A MINIMUM HEADROOM CLEARANCE OF 30" WHEN MECHANICAL EQUIPMENT IS INSTALLED IN THE ATTIC SPACE. THE OPENING SHALL BE IN LOCATED IN A HALLWAY, CORRIDOR OR OTHER READILY ACCESSIBLE LOCATION.

WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE A POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, MAINTAIN A MIN OF 4" CLEARANCE ABOVE THE WATER HEATER CONTROLS.

GAS WATER HEATERS AND FURNACES SHALL BE LOCATED ON A RIGID RAISED PLATFORM MIN. OF 18" HIGH.

APPLIANCES AND WATER HEATERS INSTALLED IN GARAGES, WAREHOUSES OR OTHER AREAS SHALL BE PROTECTED AGAINST SUCH DAMAGE BY BEING INSTALLED BEHIND PROTECTIVE BARRIERS OR BY BEING LOCATED OUT OF THE NORMAL PATH OF VEHICLES

GYP BOARD AT GARAGE CEILINGS SHALL BE 5/8" TYPE X (FIRE TAPED) AND FASTENED WITH 1 7/8" 8d NAILS OR SCREWS AT 8" ON CENTER.

GYP BOARD AT CEILING APPLICATION WITH FRAMING AT 24" ON CENTER SHALL BE 5/8" THICK OR 1/2" SAG-RESISTANT GYP BOARD.

PROVIDE SEPARATION BETWEEN THE HOUSE AND THE GARAGE BASED ON 2019 CBC R302.6 & TABLE R302.6 FOR WALLS, ATTIC OR CEILING, (I.E. FROM HABITABLE ROOMS ABOVE THE GARAGE OR NOT LESS THAN 5/8" TYPE X GYPSUM BOARD).

2022 CBCS SECTION 4.503 FIREPLACES, 4.503.1 GENERAL, ANY INSTALLED GAS FIREPLACE SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA RESIDENTIAL CODE (CRC) AND CALIFORNIA MECHANICAL CODE (CMC) AND LOCAL AMENDMENTS INCLUDING: SMOKE DETECTORS SHALL BE INSTALLED AT LOCATIONS REQUIRED BY THE CRC AND SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK UP.

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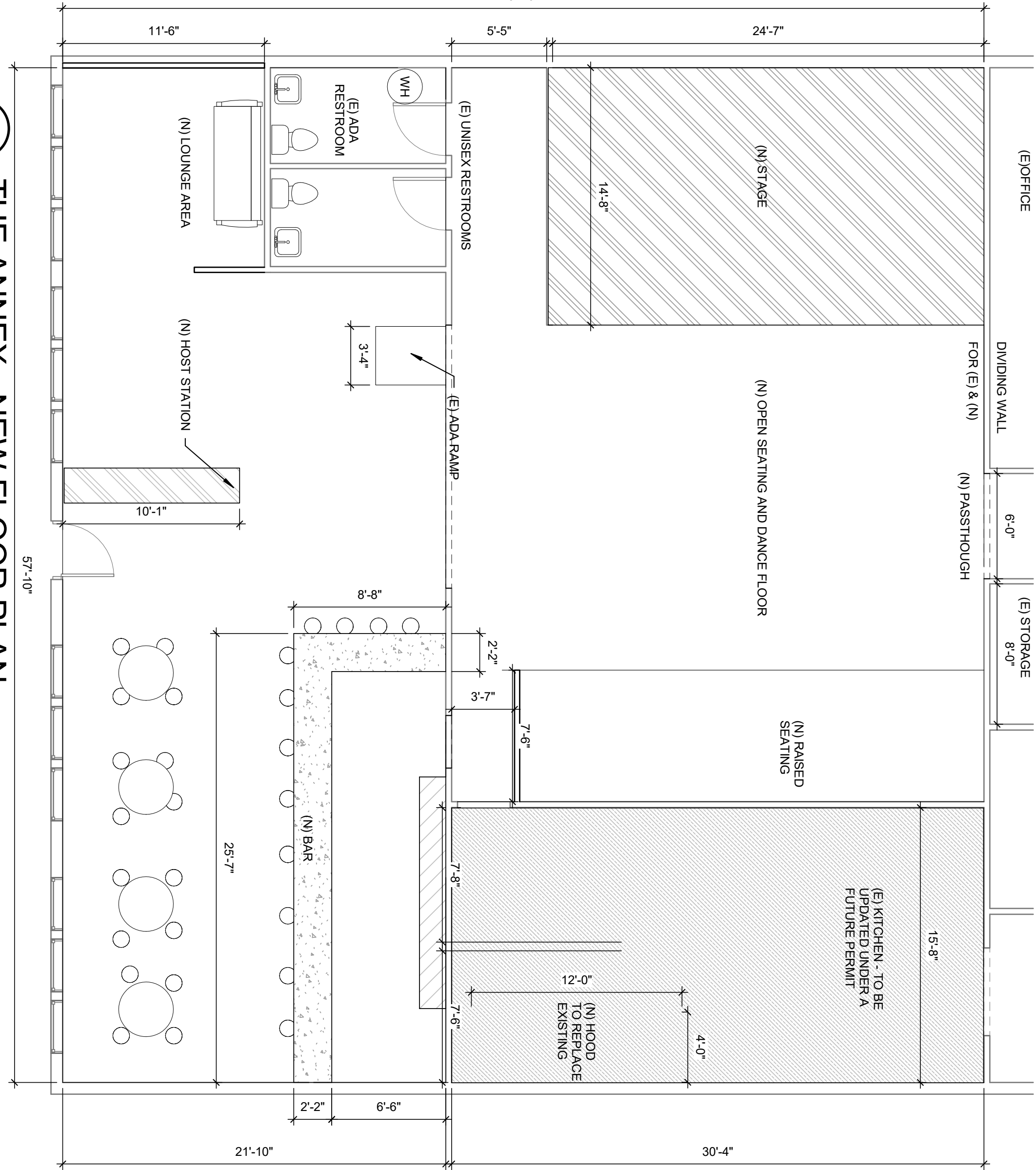
PROJECT REVISIONS		
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DRAWN BY: *David*
CHECKED BY: *David*
Author
Checker

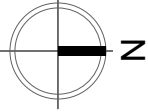
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THE ANNEX - NEW
FLOOR PLAN

SHEET NUMBER

A3



1 THE ANNEX - NEW FLOOR PLAN
3/16" = 1'-0"





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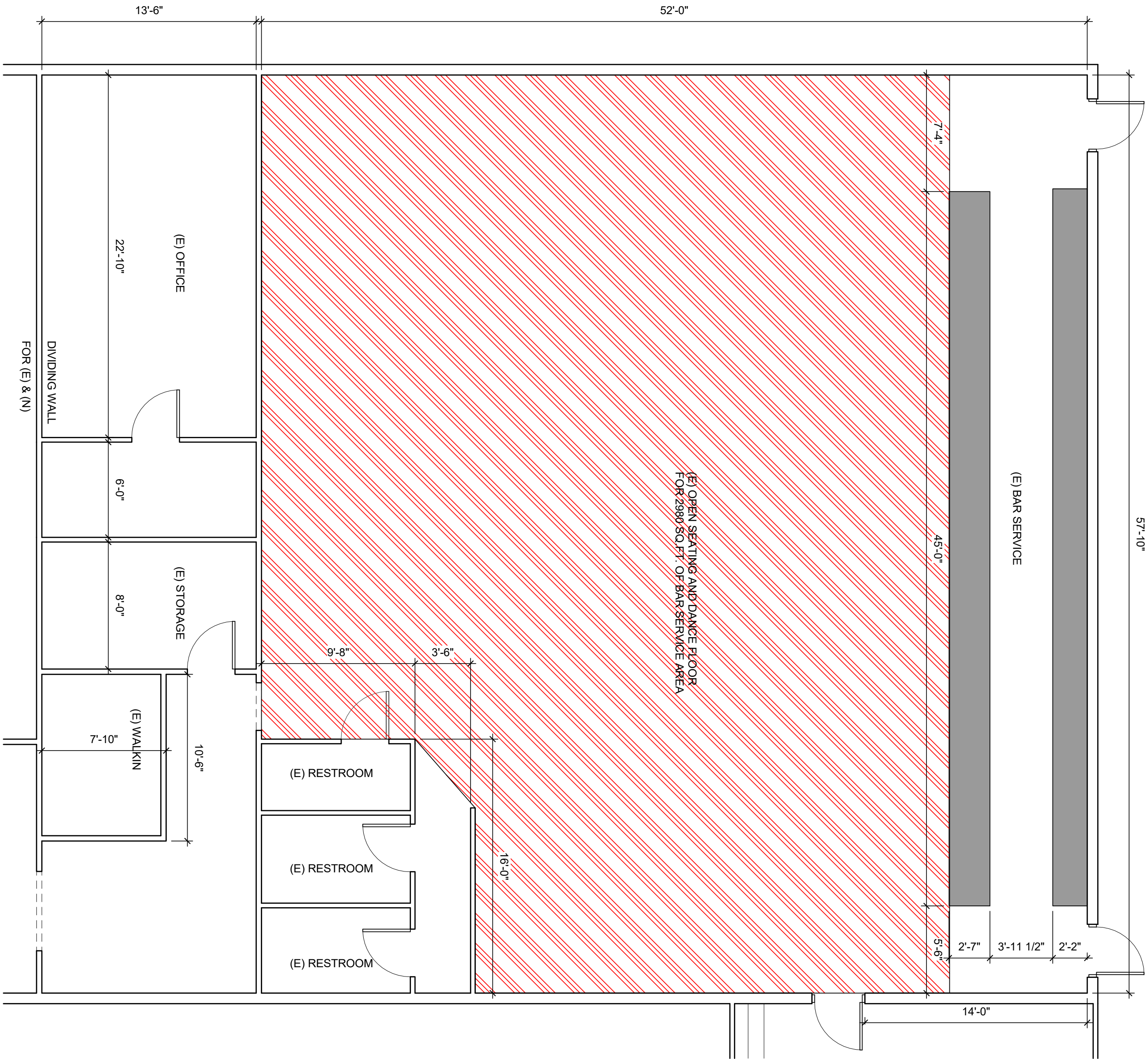
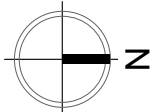
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CHECKED BY: *David* Checker

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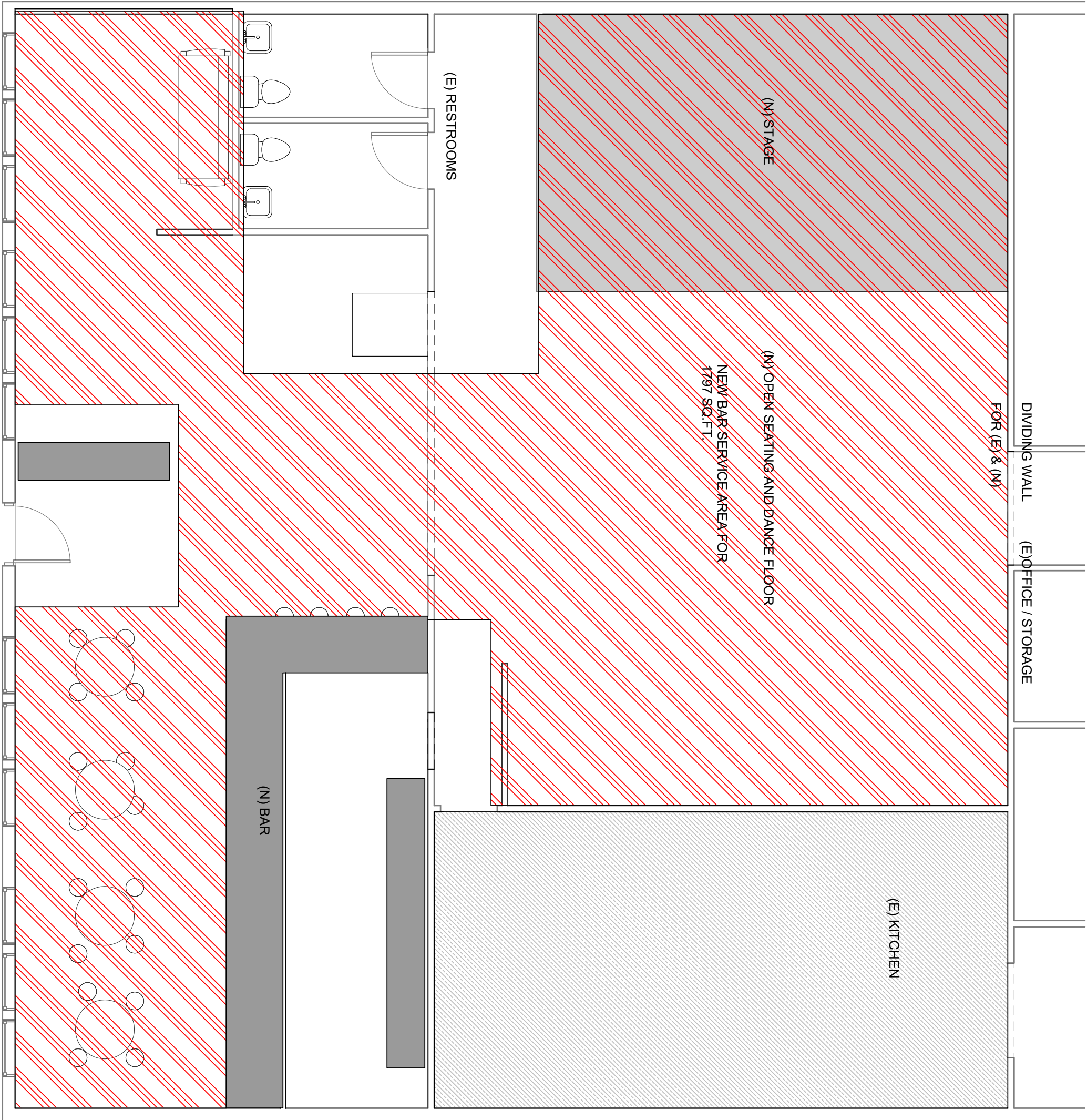
BAR SERVICE AREAS

SHEET NUMBER

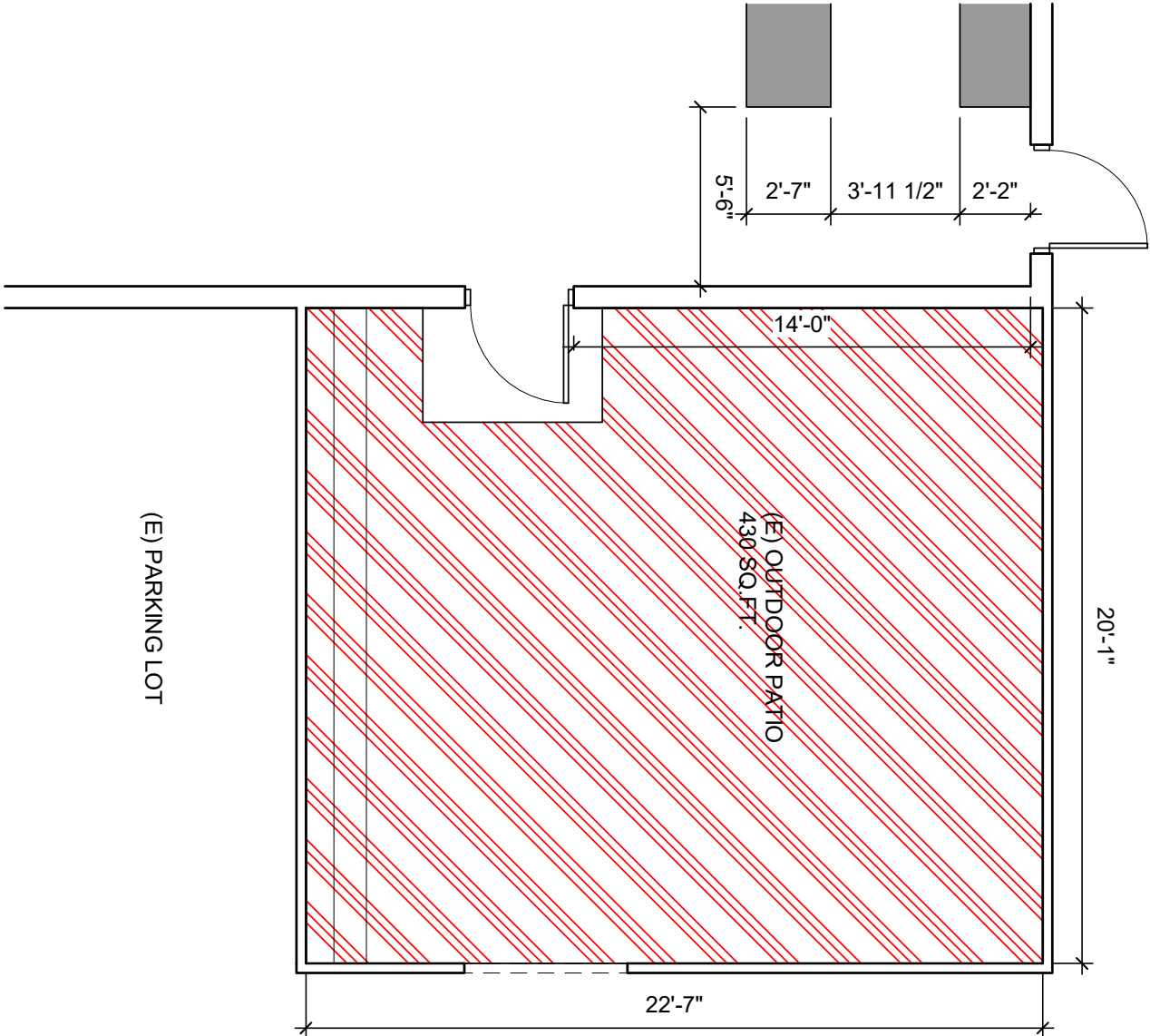
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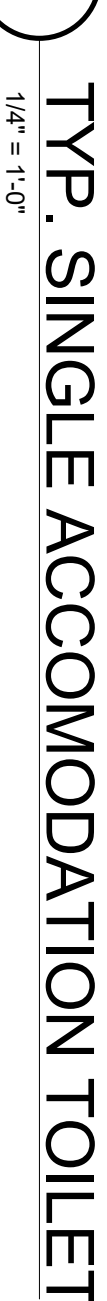
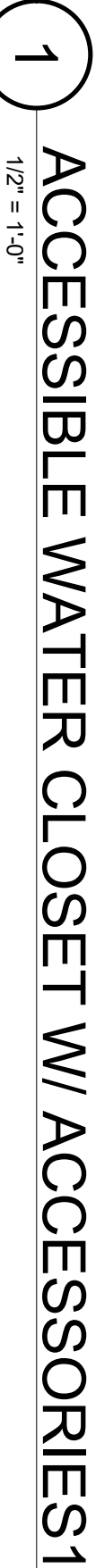
2 108 CLUB - EXISTING - BAR SERVICE
3/16" = 1'-0"



1 THE ANNEX - NEW FLOOR PLAN - BAR SERVICE
3/16" = 1'-0"



3 OUTDOOR PATIO - EXISTING BAR SERVICE
3/16" = 1'-0"



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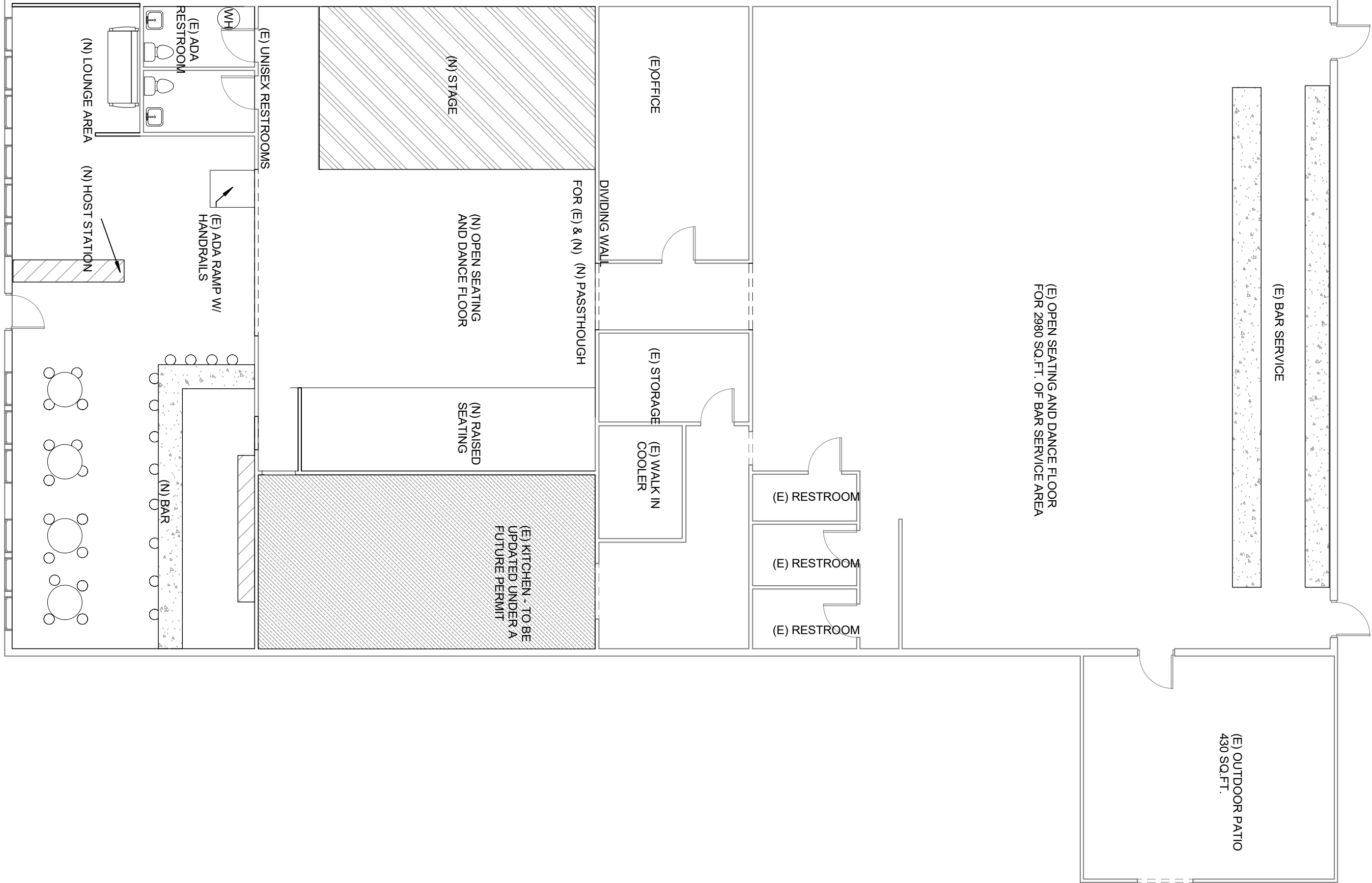
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SHEET TITLE

BUILDING OVERVIEW

SHEET NUMBER

A6



1 THE 108 & ANNEX - BUILDING OVERVIEW

1/8" = 1'-0"

IF THIS SHEET IS NOT 24"x36" IT HAS BEEN RESIZED - SCALE ACCORDINGLY



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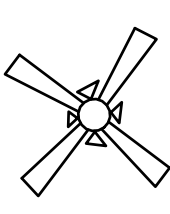
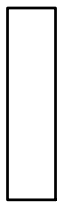
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DRAWN BY: *David* Author
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SHEET TITLE
THE ANNEX -
ELECTRICAL NEW

SHEET NUMBER

E1

FIXTURE LEGEND

	CEILING FAN - UL LISTED
	COMBO CEILING FAN & LIGHT - FIXTURE TO BE SUITABLE FOR WET/DAMP LOCATIONS - UL LISTED
	RECESSED CAN LIGHT - UL LISTED
	FLUORESCENT LIGHT
	CHANDELLER LIGHT - UL LISTED
	PENDANT LIGHT - UL LISTED

ELECTRICAL NOTES

1. PROVIDE ALL LABOR, MATERIALS, TOOLS, PLANT EQUIPMENT, TRANSPORTATION, AND ALL PERFORM ALL OPERATIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF ALL ELECTRICAL WORK REQUIRED FOR THE COMPLETE AND OPERATING SYSTEMS AS OUTLINED WITHIN THE SCOPE OF WORK.
2. UNDERWRITERS LABORATORIES, INC., SHALL MEET THEIR REQUIREMENTS AND SHALL BEAR THEIR LABEL WHEREVER STANDARDS HAVE BEEN ESTABLISHED AND LABEL SERVICE IS REGULARLY FURNISHED BY THAT AGENCY.
3. THE SIZE AND LOCATIONS OF EQUIPMENT ARE SHOWN TO SCALE WHEREEVER POSSIBLE. CONDUITS SHALL BE INSTALLED IN ACCORDANCE WITH ALL CONTRACT DOCUMENTS AND VERIFY THIS INFORMATION AT THE SITE.
4. CONDUCTORS SHALL BE COPPER CONDUCTORS TYPE AS NOTED ON CONSTRUCTION DOCUMENTS.
5. ALL REQUIRED CONDUITS SHALL BE PROVIDED BY E.C. LOW VOLTAGE WIRING SHALL BE BY MECHANICAL CONTRACTOR. UNE VOLTAGE (60 VOLTS OR MORE) SHALL BE BY ELECTRICAL CONTRACTOR.
6. DO NOT PENETRATE STRUCTURAL MEMBERS, INCLUDING BEAMS, COLUMNS, OR FOOTINGS, WITHOUT PRIOR WRITTEN CONSENT OF THE SEOR. SHOULD IT BECOME NECESSARY TO PENETRATE SUCH MEMBERS, NOTIFY THE DISTRICT IN WRITING WITHOUT DELAY, PRIOR TO PROCEEDING WITH CONSTRUCTION AROUND SUCH MEMBERS.
7. ALL ELECTRICAL WORK SHALL CONFORM WITH THE 2019 CALIF. ELECTRICAL CODE CALIFORNIA TITLE 17, 19 & 24 ALONG WITH N.E.P.A. STANDARDS AND THE STATE FIRE MARSHAL'S REQUIREMENTS.
8. ALL WORK TO BE IN ACCORDANCE WITH REQUIREMENTS OF STATE & GOVERNING LOCAL FIRE CODES AND BUILDING CODES.
9. WHERE EXISTING CONSTRUCTION IS CUT, DAMAGED, OR REMODELED, PATCH WITH MATERIALS TO MATCH IN KIND, QUALITY, AND PERFORMANCE.
10. WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE DISTURBANCE TO PUBLIC AND TO OCCUPANTS OF EXISTING BUILDING.
11. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR SAFETY OF ALL PERSONS ON AND AROUND THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THE LATEST MANUAL OF ACCIDENT PREVENTION PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.
12. CLEAN ALL EXPOSED SURFACES AND NEW EQUIPMENT AFTER COMPLETION.
13. CONTRACTOR TO COORDINATE WITH OWNERS VENDOR(S) SUCH AS, BUT NOT LIMITED TO, SECURITY, PHONES, DATA, CLOSED CIRCUIT T.V., ETC., AND ALLOW ACCESS TO THE CONSTRUCTION SITE.
14. ALL CONDUIT SHALL BE TYPE EMT CONDUIT UNLESS OTHERWISE NOTED. TYPE MC CABLE SHALL NOT BE USED UNLESS SPECIFICALLY NOTED ON THE CONSTRUCTION DOCUMENTS.
15. OPERATED DEVICES SUCH AS, BUT NOT LIMITED TO, TELEDATA OUTLETS, TELEPHONES, AND OTHER DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE AUTHORIZED MAINTENANCE PERSONAL. SHALL BE MOUNTED AT A MINIMUM OF 4" 15" AFF., AS MEASURED FROM THE BOTTOM OF THE DEVICE OUTLET BOX, AND MAXIMUM OF 48" AFF., AS MEASURED FROM THE TOP OF THE DEVICE OUTLET BOX.
16. ALL PERSONNEL, WORKING WITH ENERGIZED EQUIPMENT WITHIN THE RESTRICTED ZONE PER NFPA-70E SHALL COMPLY WITH ALL NFPA-70E AND OSHA REQUIREMENTS AND BE ARC FLASH SAFETY CERTIFIED.
17. CONTRACTOR SHALL PROVIDE ARC-FLASH HAZARD WARNINGS PER CEC 110.16, CEC 110.17, CEC 110.18, CEC 110.19, CEC 110.20, CEC 110.21, CEC 110.22, CEC 110.23, CEC 110.24, CEC 110.25, CEC 110.26, CEC 110.27, CEC 110.28, CEC 110.29, CEC 110.30, CEC 110.31, CEC 110.32, CEC 110.33, CEC 110.34, CEC 110.35, CEC 110.36, CEC 110.37, CEC 110.38, CEC 110.39, CEC 110.40, CEC 110.41, CEC 110.42, CEC 110.43, CEC 110.44, CEC 110.45, CEC 110.46, CEC 110.47, CEC 110.48, CEC 110.49, CEC 110.50, CEC 110.51, CEC 110.52, CEC 110.53, CEC 110.54, CEC 110.55, CEC 110.56, CEC 110.57, CEC 110.58, CEC 110.59, CEC 110.60, CEC 110.61, CEC 110.62, CEC 110.63, CEC 110.64, CEC 110.65, CEC 110.66, CEC 110.67, CEC 110.68, CEC 110.69, CEC 110.70, CEC 110.71, CEC 110.72, CEC 110.73, CEC 110.74, CEC 110.75, CEC 110.76, CEC 110.77, CEC 110.78, CEC 110.79, CEC 110.80, CEC 110.81, CEC 110.82, CEC 110.83, CEC 110.84, CEC 110.85, CEC 110.86, CEC 110.87, CEC 110.88, CEC 110.89, CEC 110.90, CEC 110.91, CEC 110.92, CEC 110.93, CEC 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108 Sports Lounge

Tel 209-971-3033
Fax 702-933-1442

3343 Santa Fe Street Ste. A www.108sportslounge.com
Riverbank, CA 95367

Parking Plan for 108 Sports Lounge

To ensure convenient and accessible parking options for patrons of 108 Sports Lounge, the following plan has been prepared in alignment with the City of Riverbank's Downtown Specific Plan zoning guidelines.

1. Public Parking Availability

As part of the Downtown Specific Plan zoning, patrons may utilize the **City's public parking lot on Third Street**. This designated area provides ample access and is within walking distance of the venue.

2. Roadside Parking

Additional parking is available along **Highway 108 / Atchison Street**, where curbside spaces accommodate customer traffic.

3. Residential-Friendly Parking

Patrons may also park along nearby streets such as **Second Street**, provided access to local businesses and residential driveways remains clear and unobstructed.

4. Rideshare Encouragement

For the safety and convenience of our guests, especially during later evening hours, we encourage the use of **rideshare services** (Uber, Lyft, or similar). This not only reduces congestion but also ensures a safer and more efficient means of travel.

Conclusion

This plan balances accessibility, compliance with city zoning, and community consideration. By utilizing public lots, designated roadside areas, and encouraging rideshare, 108 Sports Lounge patrons will have multiple safe and convenient options for visiting our establishment.

CITY OF RIVERBANK
SEP 22 2025
DEVELOPMENT SERVICES

P.O. Box 822
Denair, CA 95316
(209) 648-4287

Sept. 20, 2025

Teresa McDonald, Senior Planner
City of Riverbank
Community Development Dept.
6617 Third St.
Riverbank, CA 95367

Subject: Expanding sports bar at 3119 Atchison St., Riverbank

Dear Teresa McDonald:

I'm the owner of a six-apartment complex at 3204 Atchison St, located at the corner of 2nd St. I am against the expansion of the existing sports bar. I believe my tenants are too close to the proposed expanded sports bar and noise will be a major problem. As noted, operating hours would be Sunday through Thursday from 10 a.m. to 10 p.m., and on Fridays and Saturdays from 10 a.m. to 12 a.m.

While dancing and live or loud music would be prohibited, I am concerned the proposed covered patio likely would be loud and vehicles in the proposed parking lot with 23 spaces, would be noisy when cars are started up and driven off the parking lot at 12 a.m.

Thank you,

Jack Doo



Project Referral

Early Consultation

Subject: Conditional Use Permit Application No. 05-2025 & Architecture and Site Plan Review Application No. 07-2025 (Dept. File No. 25-0026) – 108 Sports Lounge

Date: 9/15/2025

TO: City of Riverbank, Community Development Department, Planning Division

From Agency Name: Riverbank Police Services

Contact Name: Chief Ed Ridenour

Contact Phone: 209-869-7162 **E-mail:** eridenour@stansheriff.com

My Agency's Project Comments and Conditions are as follows:

Over the past two years, Riverbank Police Services has responded to a total of nine calls for service specifically related to the 108 Sports Lounge. These calls included seven verbal arguments, one physical altercation, and one reported petty theft. This averages to less than one call per month at this location.

Given the frequency and nature of these incidents, the volume of calls for service at the 108 Sports Lounge is considered relatively low for a public establishment of this type. The majority of reported incidents were verbal disputes, with only one physical confrontation and one minor theft reported during this period. Riverbank Police Services continues to monitor calls for service and work collaboratively with local businesses to maintain a safe environment for patrons and the community.

Based on this record, Riverbank Police Services does not have concerns regarding the proposed expansion of the 108 Sports Lounge or the extension of its operating hours. The history of calls for service does not suggest an elevated risk to public safety, and we are confident that any future issues can be managed appropriately. Riverbank Police Services remains committed to supporting the business and the broader community as the project moves forward.

Agency Attachments included: ☐ Yes ☒ No



Heath Flora

MINORITY FLOOR LEADER
ASSEMBLYMEMBER, NINTH DISTRICT

COMMITTEES:

VICE CHAIR: BUSINESS AND
PROFESSIONS
VICE CHAIR: LABOR AND EMPLOYMENT
VICE CHAIR: NATURAL RESOURCES
BUDGET
HEALTH
RULES

BUDGET SUBCOMMITTEE NO. 4 ON
CLIMATE CRISIS, RESOURCES,
ENERGY, AND TRANSPORTATION
JOINT LEGISLATIVE COMMITTEE ON
EMERGENCY MANAGEMENT

California Legislature

August 22, 2025
City of Riverbank
6707 3rd Street
Riverbank, CA 95367

Subject: Statement in Support of Findings for Conditional Use Permit and Amendments

To Whom It May Concern,

I am writing in support of 108 Sports Lounge and The Annex at 108 as they seek approval of their Conditional Use Permit.

Small businesses like 108 Sports Lounge are the heart of our communities. They create jobs, provide safe and welcoming spaces for people to gather, and contribute to the unique character of our cities. I have seen the important role 108 Sports Lounge plays in Riverbank, not just as a business, but as a community hub where residents come together.

Their request to expand and offer live music and dancing is about more than growing a business. It's about strengthening Riverbank's downtown as a whole. Creating more opportunities for people to spend time locally supports surrounding businesses, encourages investment, and makes downtown a place people are proud of.

I believe this proposal will be a meaningful addition to Riverbank's downtown, and I am glad to lend my support.

Respectfully,

Heath Flora

STATE CAPITOL
P.O. BOX 942849
SACRAMENTO, CA 94249-0022
(916) 319-2022
FAX (916) 319-2122

DISTRICT OFFICE
1010 TENTH STREET, SUITE 5800
MODESTO, CA 95354
(209) 521-2201
FAX (209) 521-2209



COMMITTEES
VICE CHAIR: AGRICULTURE
VICE CHAIR: NATURAL RESOURCES
VICE CHAIR: PUBLIC SAFETY
BUDGET
BUSINESS AND PROFESSIONS
PUBLIC EMPLOYMENT AND
RETIREMENT

BUDGET SUBCOMMITTEE NO. 4 ON
CLIMATE CRISIS, RESOURCES,
ENERGY, AND TRANSPORTATION

September 4, 2025

City of Riverbank Planning Commission
6707 Third Street
Riverbank, CA 95367

Re: Letter of Support for Conditional Use Permit Amendment – 108 Sports Lounge Expansion and Entertainment Request

Location: 3119 Atchison Street, Riverbank, CA 95367

Dear Members of the Planning Commission,

As the Assemblymember representing California's 22nd District and as a proud native of Riverbank, I am pleased to express my support for the Conditional Use Permit amendment proposed by 108 Sports Lounge. While I no longer reside in Riverbank and my current district boundaries do not encompass the city, my deep roots here fuel my enthusiasm for initiatives that strengthen the vibrancy and vitality of its downtown.

This proposal, which expands the licensed premises to include The Annex at 108 and removes restrictions on dancing and live music, directly supports Riverbank's vision for a thriving urban core as established in the Downtown Specific Plan (DTSP) adopted in 2015. By optimizing existing space for seating and events, the amendment improves customer comfort and safety. Allowing live music and dancing will establish 108 Sports Lounge as a cultural anchor for downtown, enriching nightlife while generating new economic activity.

Having grown up in Riverbank, I understand the importance of projects that create jobs, support local businesses, and attract both residents and visitors. The owners' clear commitment to compliance with ABC regulations, city ordinances, and public safety standards ensures that this expansion will not only complement but also elevate the character of downtown.

I respectfully urge the Planning Commission to approve this amendment in support of Riverbank's long-term prosperity. Please feel free to contact my office at (209) 521-2201 should you require any additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Juan Alanis', is written over a light blue horizontal line.

Juan Alanis
Assemblymember, District 22
California State Assembly



BOARD OF SUPERVISORS

Buck Condit
County Supervisor
District 1

September 5, 2025

Riverbank Planning Commission
6707 Third St.
Riverbank, CA 95367

Subject: Support of 108 Sports Lounge Conditional Use Permit and Amendments

To Whom It May Concern,

I strongly support the proposed changes to the Conditional Use Permit for 108 Sports Lounge at 3119 Atchison St., Riverbank, to allow live music, dancing, expanded square footage, and extended hours of operation. These changes will bolster local business, create a vibrant community atmosphere, and attract both residents and visitors from Riverbank and the surrounding areas.

The 108 Sports Lounge is a vital part of our local downtown economy. Allowing live music and dancing will enhance its appeal, drawing more patrons and boosting revenue for the business and nearby establishments. Expanded space and hours will accommodate growing demand, fostering a lively hub that encourages social engagement and community pride. This aligns with Riverbank's goal of creating dynamic, welcoming spaces that support economic growth and the downtown experience.

I urge the approval of these permit changes to ensure 108 Sports Lounge continues to thrive and contribute to our community's vibrancy.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Buck Condit', with a stylized flourish at the end.

Supervisor Buck Condit
Stanislaus County Board of Supervisors
District 1

**City of Riverbank
Planning Commission
Resolution No. 2025-016**

A Resolution of the Planning Commission Approving Conditional Use Permit Application
No. 05-2025 (Dept. File No. 25-0026) for the 108 Sports Lounge Located at 3119
Atchison Street, APN: 132-003-038

Whereas, a Conditional Use Permit application has been received from 108 Sports Lounge for the sale of alcoholic beverages for on-site consumption, located at 3119 Atchison Street (APN: 132-003-038); and

Whereas, the property has a General Plan Land Use designation of Mixed Use (MU) and is zoned Highway Boulevard within the Downtown Specific Plan (DTSP); and

Whereas, areas with the MU General Plan Land Use designation are anticipated to accommodate neighborhood-scale retail uses, offices, personal and commercial services and similar land uses during the buildout of the General Plan; and

Whereas, Section 153.361 of the City of Riverbank's Municipal Code requires a Conditional Use Permit (CUP) be obtained for the sale of alcoholic beverages, including beer and wine, for on or off-site consumption; and

Whereas, the 108 Sports Lounge is currently operating under CUP No. 05-2006, which approved the sale of alcoholic beverages in 2,015 square-feet of the building, with the operating hours limited to Sunday through Thursday from 10:00 am to 10:00 pm and on Fridays and Saturdays from 10:00 am to 12:00 am, and prohibited dancing and live or loud music; and

Whereas, CUP Application No. 05-2025 will supersede CUP 05-2006, allowing the sales of alcoholic beverages in 7,200 square-feet of the building, amending the hours of operation, and allowing live music and dancing; and

Whereas, the Planning Commission held a public hearing on October 21, 2025, to consider CUP Application No. 05-2025 and take public comment; and

Whereas, the project is exempt from analysis pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301, Existing Facilities; and

Whereas, the Planning Commission has made the following use permit findings;

1. The proposed use is consistent with the general plan, any applicable specific plan, and all applicable provisions of this chapter;
2. The establishment, maintenance or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, and general welfare of the persons residing or working in the neighborhood or to the general welfare of the city;

3. The proposed use is consistent with the purpose of the applicable zoning district or districts; and
4. The proposed use meets the minimum requirements of this title applicable to the use and complies with all other applicable laws, ordinances, and regulations of the city and state; and

Whereas, the Planning Commission made the following additional findings required for the sale of alcoholic beverages:

1. That it does not result in adverse effects to the health, peace, or safety of persons residing or working in the surrounding area;
2. That it does not result in jeopardizing or endangering the public health or safety of persons residing or working in the surrounding area;
3. That it does not result in repeated nuisance activities within the premises or in close proximity of the premises, including but not limited to disturbance of the peace, illegal drug activity, public drunkenness, drinking in public, harassment of passersby, gambling, prostitution, sale of stolen goods, public urination, theft, assaults, batteries, acts of vandalism, excessive littering, loitering, graffiti, illegal parking, excessive loud noises, especially in the late night or early morning hours, traffic violations, curfew violations, lewd conduct, or police detentions and arrests;
4. That it does not result in violations to any applicable provision of any other city, state, or federal regulation, ordinance or statute; and
5. That its upkeep and operating characteristics are compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood.

Therefore, Be It Resolved by the Planning Commission that Conditional Use Permit Application No. 05-2025 is hereby approved, subject to the conditions as listed in “**Exhibit A**”.

Passed and adopted by the Planning Commission of the City of Riverbank at a meeting held on the 21st day of October 2025, motioned by Commissioner _____, seconded by Commissioner _____, and upon roll call was carried by the following vote of ____-____:

AYES: Commissioners:

NAYS:

ABSENT:

ABSTAIN:

Attest:

Approved:

Joshua E. Mann
Community Development Director

Taide Zamora, Chairperson
Planning Commission

Exhibit A – Conditions of Approval

EXHIBIT “A” CONDITIONS OF APPROVAL

Conditional Use Permit Application No. 05-2025 (Dept. File No. 25-0026) – 108 Sports Lounge

This project is subject to the following conditions unless specifically exempted, as determined by the Community Development Director or his/her designee. The conditions associated with CUP Application No. 05-2006 – Ellis Lounge (Planning Commission Resolution No. 2006-009) are hereby superseded by the Conditions of this Permit.

A. GENERAL CONDITIONS

1. The subject use permit shall be null and void 24 months from the date of final approval thereof unless prior to such expiration date, the property is being used for the purpose of which the use permit was granted or unless a valid building permit is in effect for the construction of necessary buildings or appurtenances to such use. The Planning Commission may defer expiration of the permit for a period not exceeding one year upon application, in writing, by the owner of the property prior to expiration provided such use is still permitted in the district in which it is proposed to be located.
2. All live entertainment and amplified music shall occur indoors only. No outdoor amplification or performance is permitted unless a temporary noise permit is obtained pursuant to Riverbank Municipal Code (RMC) Chapter 93 - Noise.
3. All doors and windows shall remain closed during live or amplified music, except for normal ingress and egress. The operator shall post signage near all exits reminding patrons to respect neighboring residences and keep noise to a minimum when leaving the premises.
4. The operator shall comply with maximum allowable noise levels established in Riverbank Municipal Code (RMC) Chapter 93 – Noise. No sound, music, or vibration generated on-site shall exceed those levels at the property line of the nearest residential use.
5. If a verified noise complaint is received by the City or Riverbank Police Services, the City may require, at the discretion of the Community Development Director or designee, the owner/operator to submit a professional acoustic analysis prepared by a qualified noise consultant, at the owner/operator's expense. The noise consultant shall be approved by the Community Development Director. The noise consultant's evaluation shall be completed and submitted to the Community Development Department within 90-days of written notice being delivered to the property owner/operator. An extension may be granted by the Community Development Director upon request. The analysis shall identify mitigation measures to reduce noise to allowable levels, which the owner/operator shall implement within 30 days of City

approval. For purposes of this condition, a “verified complaint” means a complaint that is confirmed by City staff or Riverbank Police Services through direct observation, or multiple independent reports from residents that can be reasonably linked to the business’s operations

6. Required on-site parking shall be maintained in compliance with City standards and shall not be obstructed.
7. A “No Parking in Alley” sign shall be posted in a conspicuous location in the parking lot.
8. To maintain good relations with surrounding residential neighborhoods, the operator shall discourage patrons and employees from parking on nearby residential streets, including Topeka and High Streets. Employees shall park in designated on-site or approved off-site areas.

If the City receives verified complaints regarding patrons or employees parking on residential streets, the operator shall meet with the Community Development Director to discuss and implement additional reasonable measures such as designated employee parking, valet service, or shared parking agreements to reduce neighborhood impacts. For purposes of this condition, a “verified complaint” means a complaint that is confirmed by City staff or Riverbank Police Services through direct observation, photographic evidence, or multiple independent reports from residents that can be reasonably linked to the business’s operations.

9. An approved automatic fire sprinkler system is required to be installed and operational prior to occupancy or use of the expansion area, or as determined by the Stanislaus Consolidated Fire District.
10. All signs shall be submitted to the Community Development Director for design review in accordance with the sign guidelines of the Downtown Specific Plan.
11. A building permit is required for the tenant improvements completed without permits.
12. The expansion area (the southern 2,540± square-feet of the building) shall be issued a Certificate of Occupancy prior to use.
13. A Certificate of Merger or Lot Line Adjustment shall be recorded for the project site prior to issuance of a building permit.
14. The operator shall maintain a valid business license from the City of Riverbank.
15. The operator shall maintain a valid license from the Department of Alcoholic Beverage Control and abide by all conditions of the license.

16. No signs advertising alcoholic beverages shall be visible from the exterior of the building.
17. This approval is dependent upon and limited to the proposals and plans contained, supporting documents submitted, presentations made to staff, Planning Commission and/or City Council as affirmed to by the applicant. Any variation from these plans, proposals, supporting documents or presentations is subject to review and approval prior to implementation.
18. The applicant shall secure and comply with all applicable federal, state and local licenses, permits, authorizations, conditions, agreements, and orders prior to or during construction and operation, as appropriate.
19. The applicant shall comply with all regulations and code requirements of the Community Development Director, City Engineer, Building Official, Modesto Regional Fire Authority, Stanislaus Consolidated Fire Protection District, the Police Chief and any other agencies requiring review of the project. If required, these agencies shall be supplied copies of the final maps, site plans, public improvement plans, grading plans and building plans.
20. Site development plans shall be in substantial conformance to the approved site plan and must be submitted, in English units, to the City Engineering Department for review and approval. Maps shall be prepared, wet signed and sealed by a civil engineer, land surveyor, or architect registered in the State of California and licensed to prepare site development plans.
21. Should the project be found, at any time, not to be in compliance with any of the Conditions of Approval, or should the applicant construct or operate this development in any way other than specified in the Application or Supporting Documents or presentations to staff, Planning Commission or City Council, as modified by the Conditions of this Approval, then the terms of this Approval shall be considered to be violated.
22. Work done by a contractor pursuant to this approval shall not begin before the contractor has been shown by the applicant a copy of this permit.
23. The hours of construction, including equipment warm-up, shall be limited to 7:00 a.m. - 6:30 p.m. on weekdays and 8:00 a.m. - 5:00 p.m. on weekends and legal holidays.
24. All new construction requires building permits in accordance with all applicable building and fire codes and submission of a plot and grading plan prepared by a registered professional civil engineer showing property lines, building locations, topography and such other data as required by the Community Development Department.
25. All geologic hazards must be plotted on a plot plan, and habitable structures shall comply with the restrictions specified in all applicable building and fire codes.
26. All necessary utility easements shall be retained or reserved.

27. Approval of this application does not constitute approval of any other entitlement or any other necessary permit, license, or approval.
28. The developer shall pay all applicable processing fees, permit fees, City development fees, fire fees, school fees, drainage fees and other public entity fees in effect at the time of the issuance of the applicable permit.
29. With respect to any claim, action or proceeding against the City, its officials, employees or agents relating to the action or inaction of the City in reviewing, approving or denying entitlements of any type, the Developer agrees to indemnify, hold harmless and defend the City and its elected and appointed councils, boards, commissions, officers, agents, employees, and representatives from any and all claims, costs, and liability for claims of damage, for any property damage or personal injury, including death, which may arise as a result of any negligent acts or omissions by Developer or Developer's contractors, subcontractors, agents, or employees in connection with the construction, improvement, or operation, of the Project. Developer agrees to indemnify, hold harmless and defend the City and its officers, agents, employees, and representatives from any and all actions for damages caused or alleged to have been caused by Developer's activities in connection with the Project. This Agreement applies to all damages and claims for damages suffered or alleged to have been suffered arising out of or in connection to any and all Project operations, regardless of whether or not the City prepared, supplied or approved plans or specifications or both for the Project.
30. In the event any legal action or special proceeding is commenced by any person or entity challenging any agreements between Developer and City, any entitlement or component of the Project such as the Project EIR, or any other City approval for the Project (collectively, "Project Litigation"), the Parties agree to cooperate with each other as set forth herein. City may elect to tender the defense of any lawsuit filed and related in whole or in part to Project Litigation. Upon the commencement of Project Litigation, Developer will indemnify and hold harmless the City from all costs and expenses incurred related thereto, including, but not limited to, damages, attorneys' fees and expenses of litigation awarded to the prevailing party or parties in such litigation. Developer shall pay all litigation fees to the City within thirty (30) days of receiving a written request and accounting of such fees and expenses from the City. Notwithstanding the aforementioned, City may request a deposit to cover City's reasonably anticipated Project Litigation fees and costs, and Developer will provide such deposit to City within seven (7) days of any such request.
31. It is required by State Law (Business and Professional Code Section No. 5537 & 5538 and Section 302(b) of the Uniform Building Code) that all commercial buildings, new or existing must have a licensed professional designer (Architect, Civil or Structural Engineer) to design all changes of use or occupancy as well as new construction.
32. This approval may be recalled to the Planning Commission for review at any time due to complaints regarding lack of compliance with conditions of approval, traffic

congestion, noise generation, or other adverse operating characteristics. At such time, the Commission may revoke the approval or add/modify conditions approval.

33. It is the responsibility of the applicant or developer to check with each agency for requirements that may pertain to their project.

**City of Riverbank
Planning Commission
Resolution No. 2025-017**

A Resolution of the Planning Commission Approving Architecture and Site Plan Review Application No. 07-2025 (Dept. File No. 25-0026) for the 108 Sports Lounge Located at 3119 Atchison Street, APN: 132-003-038

Whereas, an Architecture and Site Plan Review application has been received from 108 Sports Lounge, located at 3119 Atchison Street (APN: 132-003-038); and

Whereas, the property has a General Plan Land Use designation of Mixed Use (MU) and is zoned Highway Boulevard within the Downtown Specific Plan (DTSP); and

Whereas, the 108 Sports Lounge previously amended exterior paint colors, signage, and added covered patio without a site plan review; and

Whereas, any proposed construction or reconstruction of buildings and related facilities within the DTSP area requires site plan review as established by Riverbank Municipal Code; and

Whereas, Section 153.217 of the Riverbank Municipal Code requires an architecture and site plan review be approved by the Planning Commission at a public hearing; and

Whereas, the Planning Commission held a public hearing on October 21, 2025, to consider Architecture and Site Plan Review No. 07-2025 and take public comment; and

Whereas, the proposed Project is exempt from analysis pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301, Existing Facilities; and

Whereas, the Planning Commission made the following required architecture and site plan review findings:

1. The proposed project is consistent with the objectives of the general plan, complies with applicable zoning regulations, planned development, master plan or specific plan provisions, improvement standards, and other applicable standards and regulations adopted by the city;
2. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation;
3. The site layout (orientation and placement of buildings and parking areas), as well as the landscaping, lighting, and other development features, is compatible with and complements the existing surrounding environment and ultimate character of the area under the general plan; and
4. The proposed architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors,

screening of exterior appurtenances, exterior lighting, and similar elements, establishes a clear design concept and is compatible with the character of the buildings on adjoining and nearby properties.

Whereas, elevations of the 108 Sports Lounge are hereby granted and approved, subject to the following conditions:

1. Any modification to the exterior of the project site as shown in “**Exhibit A**” requires additional review and approval from the Planning Department and may require additional land use entitlements.

Therefore, Be It Resolved by the Planning Commission that Architecture and Site Plan Review Application No. 07-2025 is hereby approved, as illustrated in “**Exhibit A**”.

Passed and adopted by the Planning Commission of the City of Riverbank at a meeting held on the 21st day of October, 2025; motioned by Commissioner _____, seconded by Commissioner _____, and upon roll call was carried by the following vote of ____-____:

AYES: Commissioners:

NOES:

ABSENT:

ABSTAIN:

Attest:

Approved:

Joshua E. Mann,
Community Development Director

Taide Zamora, Chairperson
Planning Commission

Exhibit A –Elevations

